

PARCEL# R06011-002-018-000
 ADDRESS: 2130 S 17TH ST
 OWNER: CAMERON COMPANY LLC
 USE: MEDICAL AND HEALTH
 ZONE: CB-COMMUNITY BUSINESS

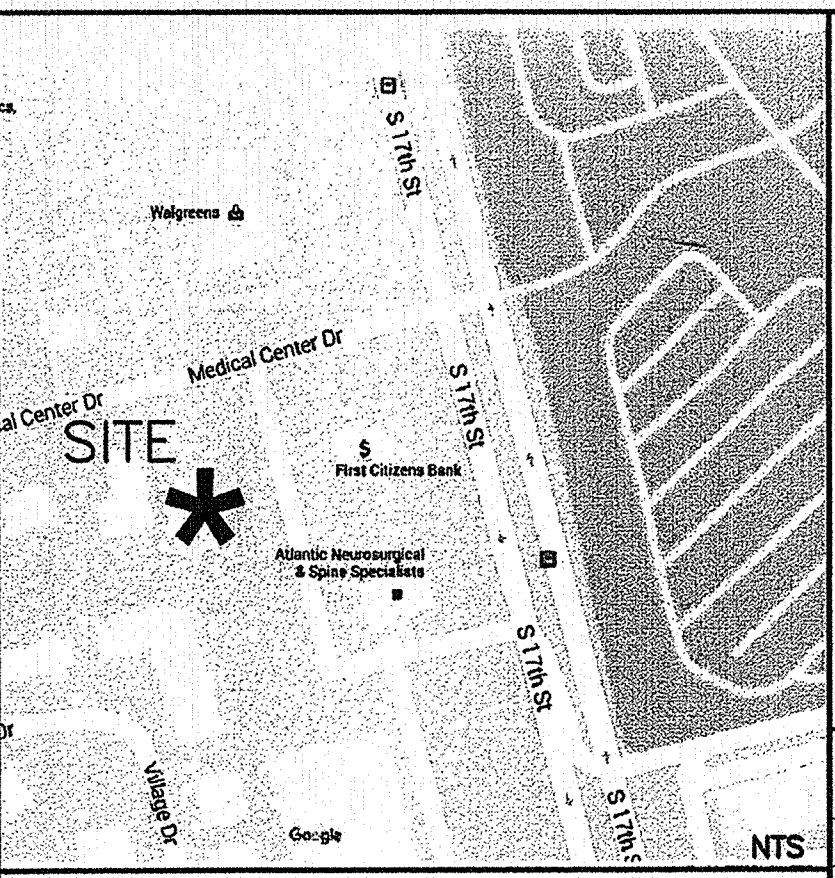
PARCEL# R06011-003-007-001
 ADDRESS: 1510 MEDICAL CENTER DR.
 OWNER: MEDICAL CTR DR ASSOCIATES LLC
 USE: PHYSICIAN
 ZONE: O&I-1 OFFICE & INSTITUTIONAL

PARCEL# R06011-003-005-000
 ADDRESS: 2200 S 17TH ST
 OWNER: FIRST CITIZENS BANK & TRUST CO.
 USE: BANK
 ZONE: CB-COMMUNITY BUSINESS

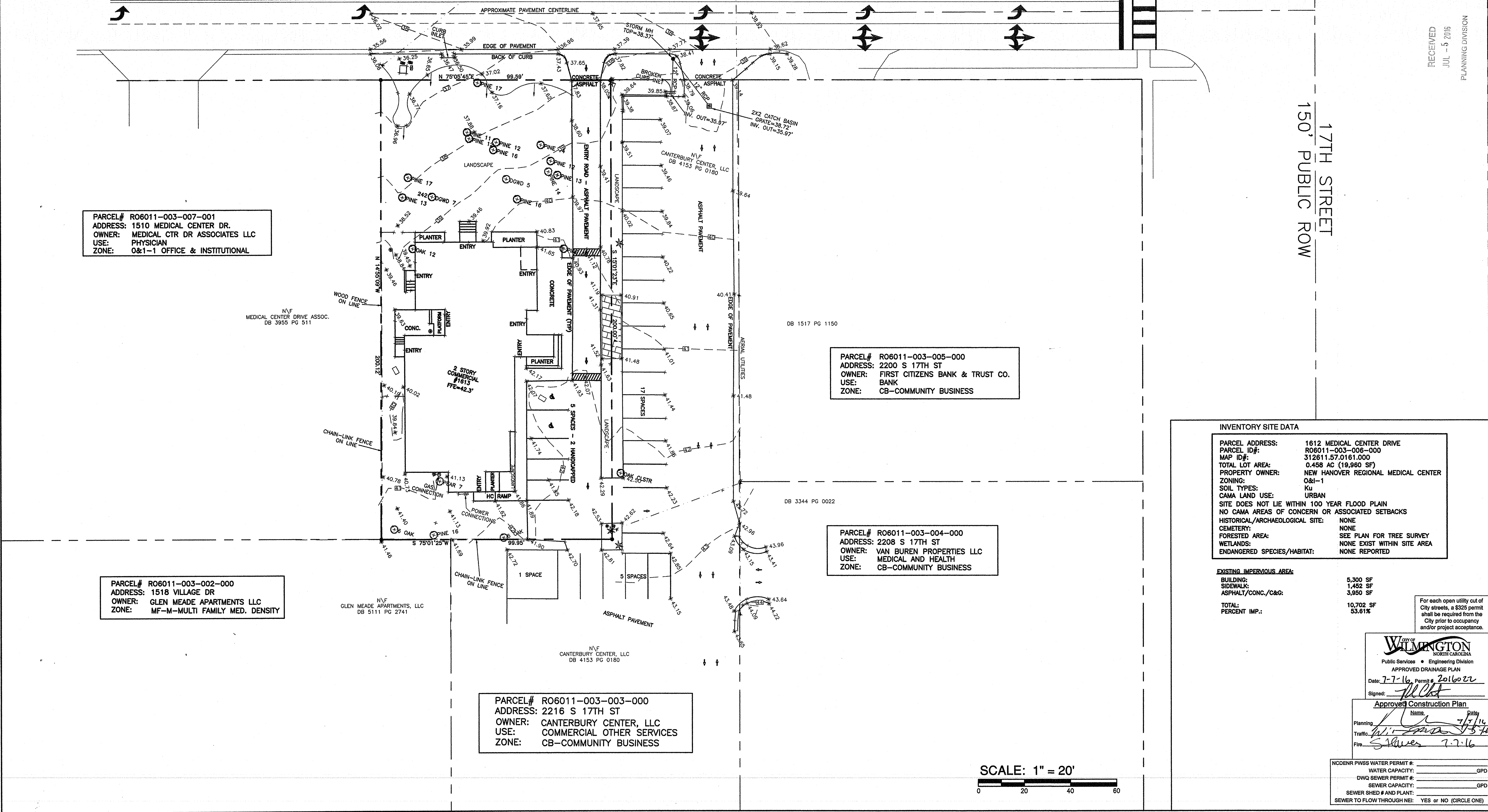
PARCEL# R06011-003-004-000
 ADDRESS: 2208 S 17TH ST
 OWNER: VAN BUREN PROPERTIES LLC
 USE: MEDICAL AND HEALTH
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-002-000
 ADDRESS: 1518 VILLAGE DR
 OWNER: GLEN MEADE APARTMENTS LLC
 ZONE: MF-M-MULTI FAMILY MED. DENSITY

PARCEL# R06011-003-003-000
 ADDRESS: 2216 S 17TH ST
 OWNER: CANTERBURY CENTER, LLC
 USE: COMMERCIAL OTHER SERVICES
 ZONE: CB-COMMUNITY BUSINESS



VICINITY MAP



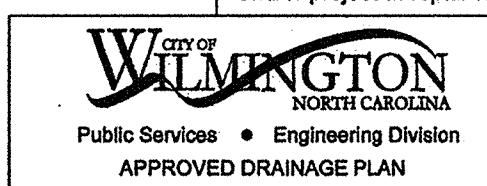
INVENTORY SITE DATA

PARCEL ADDRESS:	1612 MEDICAL CENTER DRIVE
PARCEL ID#:	R06011-003-006-000
MAP ID#:	312611.57.0161.000
TOTAL LOT AREA:	0.458 AC (19,960 SF)
PROPERTY OWNER:	NEW HANOVER REGIONAL MEDICAL CENTER
ZONING:	O&I-1
SOIL TYPES:	Ku
CAMA LAND USE:	URBAN
SITE DOES NOT LIE WITHIN 100 YEAR FLOOD PLAN	
NO CAMA AREAS OF CONCERN OR ASSOCIATED SETBACKS	
HISTORICAL/ARCHAEOLOGICAL SITE:	NONE
CEMETERY:	NONE
FORESTED AREA:	SEE PLAN FOR TREE SURVEY
WETLANDS:	NONE EXIST WITHIN SITE AREA
ENDANGERED SPECIES/HABITAT:	NONE REPORTED

EXISTING IMPERVIOUS AREA:

BUILDING:	5,300 SF
SIDEWALK:	1,452 SF
ASPHALT/CONC./C&G:	3,950 SF
TOTAL:	10,702 SF
PERCENT IMP.:	53.61%

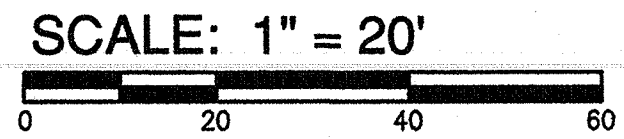
For each open utility cut of City streets, a \$320 permit shall be required from the City prior to occupancy and/or project acceptance.



APPROVED DRAINAGE PLAN
 Date: 7-7-16 Permit # 2016022
 Signed: [Signature]

Approved Construction Plan
 Name: [Name] Date: 7-7-16
 Planning: [Signature] 7-7-16
 Traffic: [Signature] 7-7-16
 Fire: [Signature] 7-7-16

NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)



SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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 RECEIVED JUL - 5 2016
 PLANNING DIVISION

OWNER/DEVELOPER
 NHRMC
 PO BOX 9000
 WILMINGTON, NC 28402
 910-343-2788

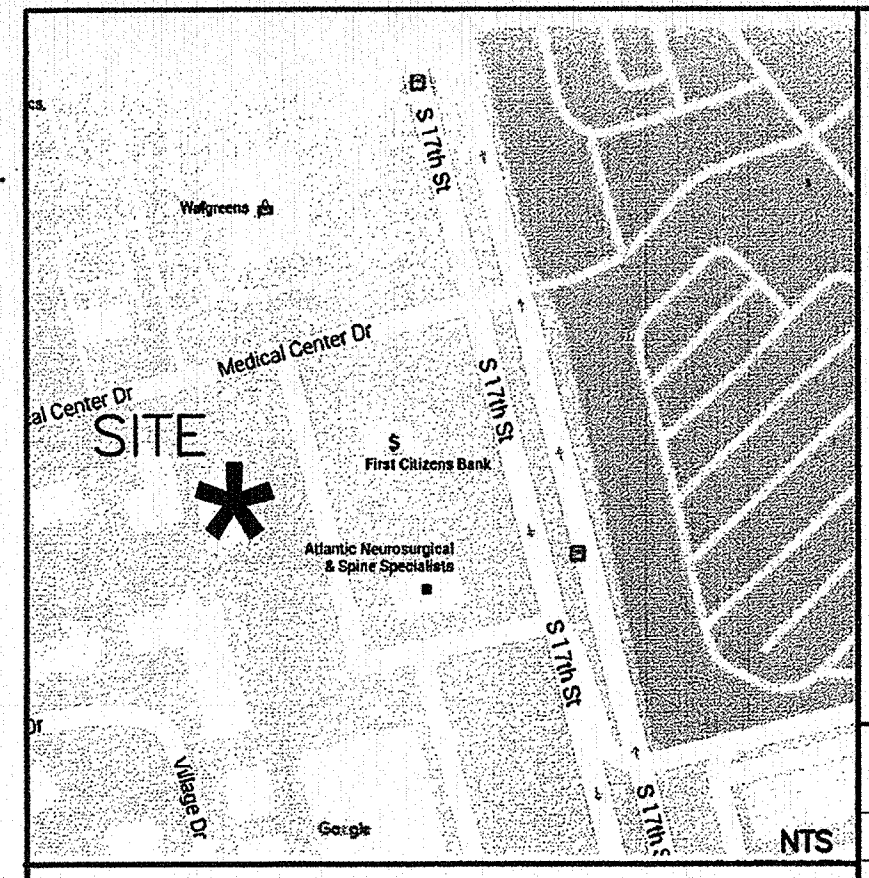
NORRIS & TUNSTALL
 CONSULTING ENGINEERS, P.C.
 902 MARKET STREET
 WILMINGTON, NC 28401
 PHONE (910) 343-9653
 license #C-3541

16031
 DES. JST
 OKD. JPN
 DRWN. NKS
 DATE 4/28/16



PARCEL# R06011-002-018-000
 ADDRESS: 2130 S 17TH ST
 OWNER: CAMERON COMPANY LLC
 USE: MEDICAL AND HEALTH
 ZONE: CB-COMMUNITY BUSINESS

*NOTE: EXISTING INV. IS FROM FIELD MEASUREMENT AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.



VICINITY MAP

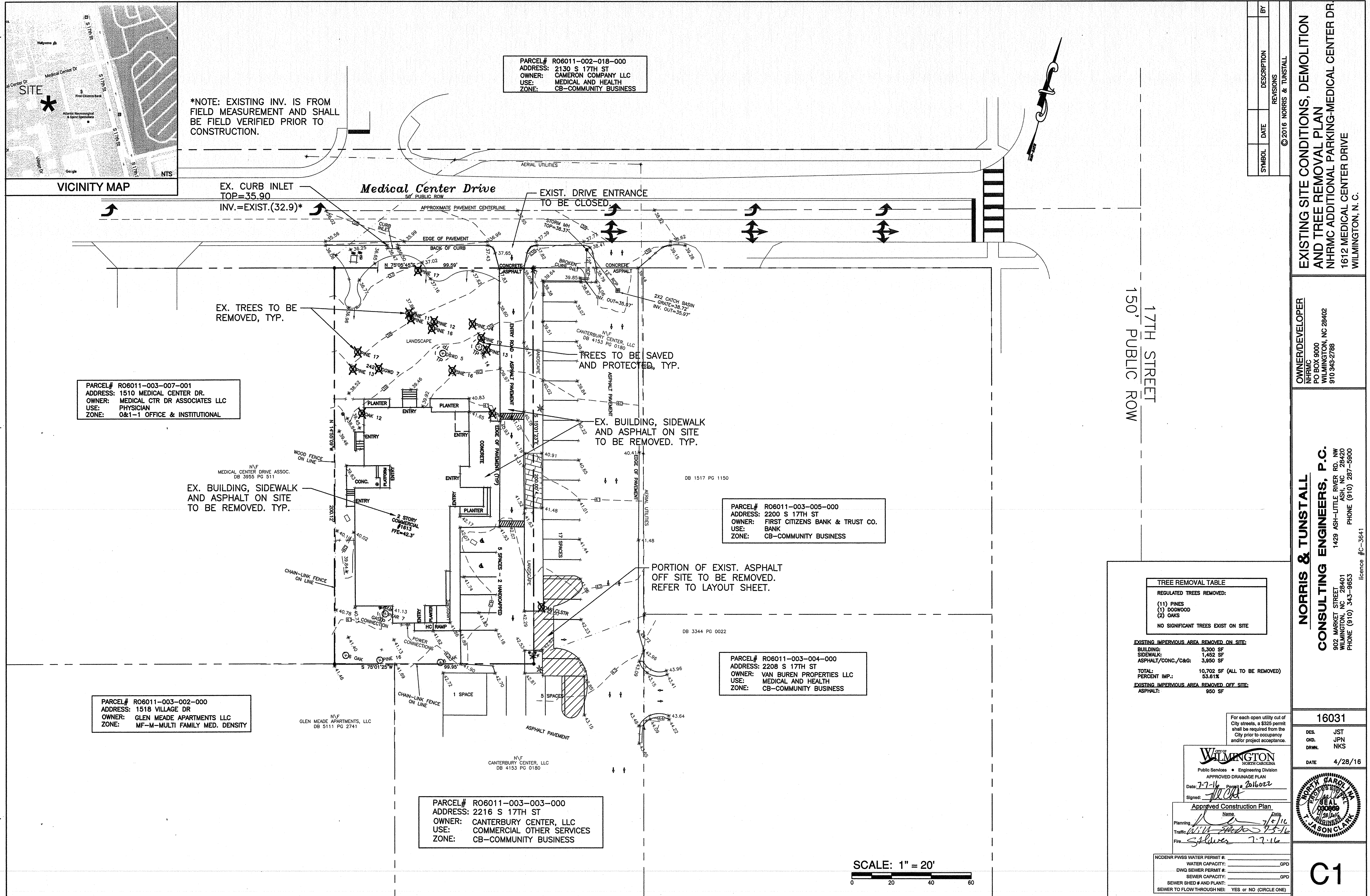
PARCEL# R06011-003-007-001
 ADDRESS: 1510 MEDICAL CENTER DR.
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 USE: PHYSICIAN
 ZONE: O&I-1 OFFICE & INSTITUTIONAL

PARCEL# R06011-003-002-000
 ADDRESS: 1518 VILLAGE DR
 OWNER: GLEN MEADE APARTMENTS LLC
 ZONE: MF-M-MULTI FAMILY MED. DENSITY

PARCEL# R06011-003-003-000
 ADDRESS: 2216 S 17TH ST
 OWNER: CANTERBURY CENTER, LLC
 USE: COMMERCIAL OTHER SERVICES
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-005-000
 ADDRESS: 2200 S 17TH ST
 OWNER: FIRST CITIZENS BANK & TRUST CO.
 USE: BANK
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-004-000
 ADDRESS: 2208 S 17TH ST
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17TH STREET
 150' PUBLIC ROW

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

EXISTING SITE CONDITIONS, DEMOLITION AND TREE REMOVAL PLAN
 NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.
 1612 MEDICAL CENTER DRIVE
 WILMINGTON, N. C.

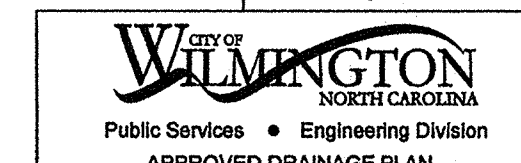
OWNER/DEVELOPER
 NHRMC
 PO BOX 9000
 WILMINGTON, NC 28402
 910-343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
 902 MARKET STREET
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 license #C-3641

TREE REMOVAL TABLE	
REGULATED TREES REMOVED:	
(1) PINES	
(1) DOGWOOD	
(2) OAKS	
NO SIGNIFICANT TREES EXIST ON SITE	

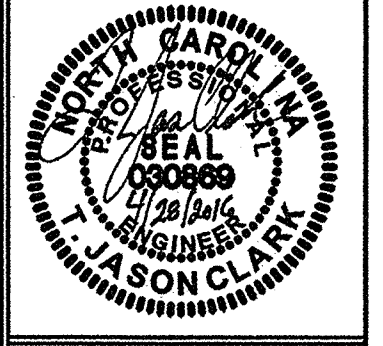
EXISTING IMPERVIOUS AREA REMOVED ON SITE:
 BUILDING: 5,300 SF
 SIDEWALK: 1,482 SF
 ASPHALT/CONC./C&G: 3,950 SF
 TOTAL: 10,702 SF (ALL TO BE REMOVED)
 PERCENT IMP.: 53.61%
 EXISTING IMPERVIOUS AREA REMOVED OFF SITE:
 ASPHALT: 950 SF

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

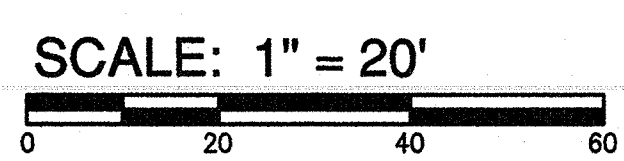


APPROVED DRAINAGE PLAN
 Date: 7-7-16 Permit: 2016022
 Signed: [Signature]
 Approved Construction Plan
 Name: [Signature] Date: 7/8/16
 Planning: [Signature] Date: 7/5/16
 Traffic: [Signature] Date: 7/5/16
 Fire: [Signature] Date: 7/7/16

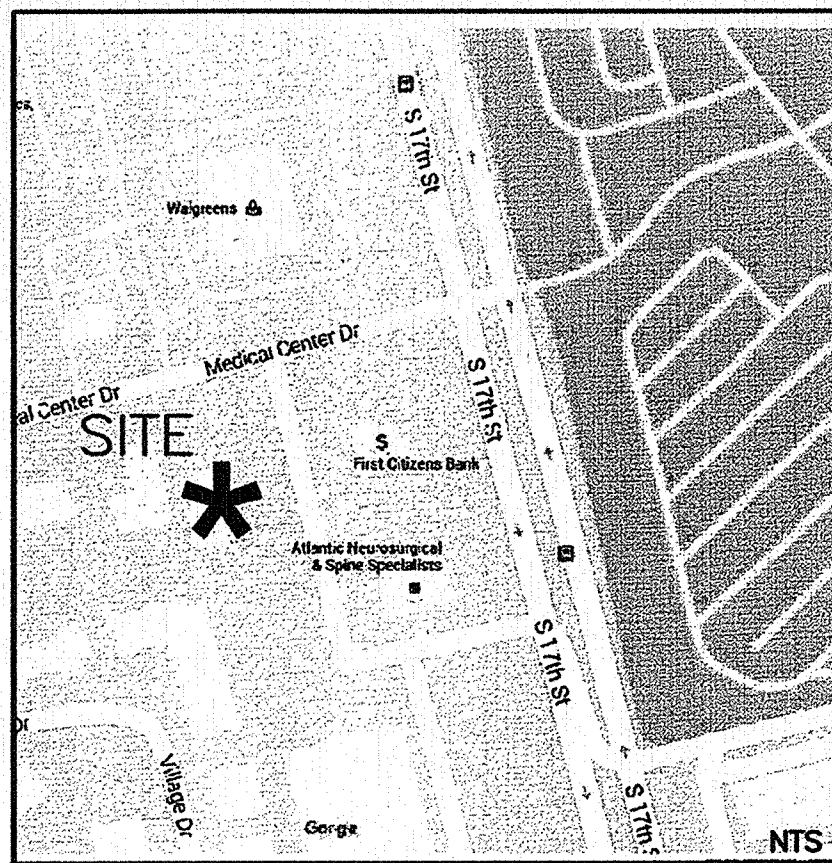
16031
 DES. JST
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 DATE 4/28/16



NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DIWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEK:	YES OR NO (CIRCLE ONE)



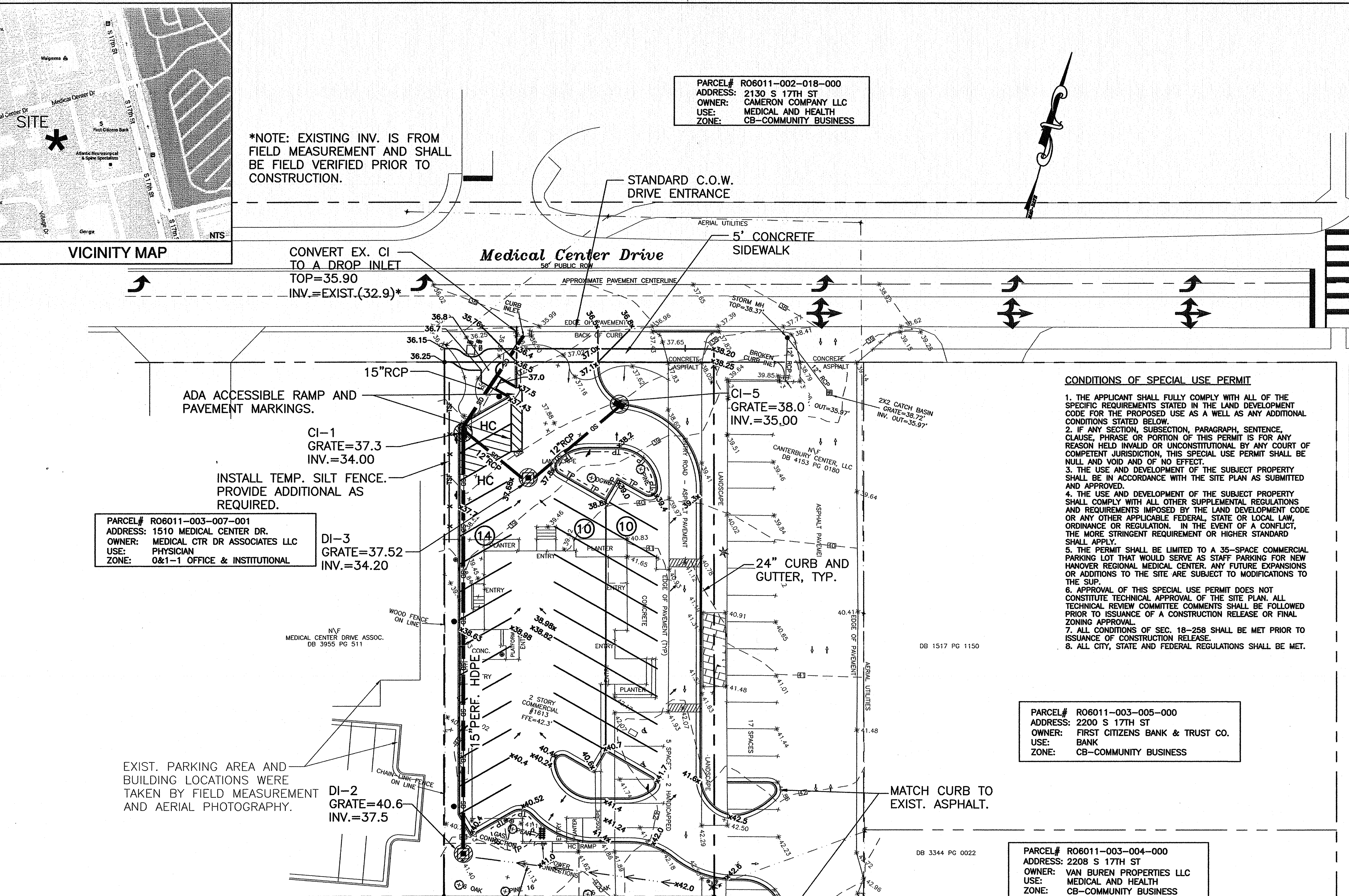
C1



VICINITY MAP

*NOTE: EXISTING INV. IS FROM FIELD MEASUREMENT AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

PARCEL# R06011-002-018-000
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ADA ACCESSIBLE RAMP AND PAVEMENT MARKINGS.

INSTALL TEMP. SILT FENCE. PROVIDE ADDITIONAL AS REQUIRED.

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 ADDRESS: 1510 MEDICAL CENTER DR.
 OWNER: MEDICAL CTR DR ASSOCIATES LLC
 USE: PHYSICIAN
 ZONE: O&I-1 OFFICE & INSTITUTIONAL

DI-3
 GRATE=37.52
 INV.=34.20

DI-2
 GRATE=40.6
 INV.=37.5

EXIST. PARKING AREA AND BUILDING LOCATIONS WERE TAKEN BY FIELD MEASUREMENT AND AERIAL PHOTOGRAPHY.

CONDITIONS OF SPECIAL USE PERMIT

1. THE APPLICANT SHALL FULLY COMPLY WITH ALL OF THE SPECIFIC REQUIREMENTS STATED IN THE LAND DEVELOPMENT CODE FOR THE PROPOSED USE AS WELL AS ANY ADDITIONAL CONDITIONS STATED BELOW.
2. IF ANY SECTION, SUBSECTION, PARAGRAPH, SENTENCE, CLAUSE, PHRASE OR PORTION OF THIS PERMIT IS FOR ANY REASON HELD INVALID OR UNCONSTITUTIONAL BY ANY COURT OF COMPETENT JURISDICTION, THIS SPECIAL USE PERMIT SHALL BE NULL AND VOID AND OF NO EFFECT.
3. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE SITE PLAN AS SUBMITTED AND APPROVED.
4. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL OTHER SUPPLEMENTAL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE OR ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
5. THE PERMIT SHALL BE LIMITED TO A 35-SPACE COMMERCIAL PARKING LOT THAT WOULD SERVE AS STAFF PARKING FOR NEW HANOVER REGIONAL MEDICAL CENTER. ANY FUTURE EXPANSIONS OR ADDITIONS TO THE SITE ARE SUBJECT TO MODIFICATIONS TO THE SUP.
6. APPROVAL OF THIS SPECIAL USE PERMIT DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. ALL TECHNICAL REVIEW COMMITTEE COMMENTS SHALL BE FOLLOWED PRIOR TO ISSUANCE OF A CONSTRUCTION RELEASE OR FINAL ZONING APPROVAL.
7. ALL CONDITIONS OF SEC. 18-258 SHALL BE MET PRIOR TO ISSUANCE OF CONSTRUCTION RELEASE.
8. ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE MET.

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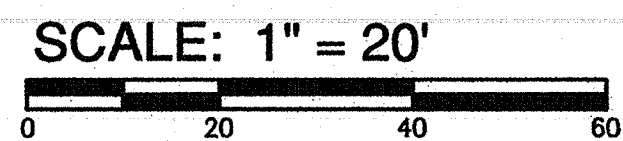
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 ZONE: MF-M-MULTI FAMILY MED. DENSITY

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LEGEND

- SD - PROPERTY LINE
- SD - PROPOSED STORMDRAIN PIPE
- SPOT ELEVATION AT FLOWLINE OF CURB. (TOP OF CURB +6")
- (DI) - DROP INLET WITH INLET PROTECTION
- (CI) - CURB INLET WITH INLET PROTECTION
- 13" PINE - EXISTING TREE TO BE SAVED AND PROTECTED
- 13" PINE - EXISTING TREE TO BE REMOVED
- TP - TREE PROTECTION FENCING



City of WILMINGTON, NORTH CAROLINA
 Public Services - Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 7-7-16 Permit: 2016022
 Signed: [Signature]
 Approved Construction Plan
 Planning: [Signature] 7/5/16
 Traffic: [Signature] 7/5/16
 Fire: [Signature] 7-7-16
 NCDENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWO SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

- PERMEABLE PAVEMENT CONSTRUCTION SEQUENCE:**
1. The following is a typical construction sequence to properly install pervious concrete. The means and methods of installation shall be determined by the contractor and shall be installed per the manufacturer recommendations, product standards and industry guidelines.
 2. Construction of the permeable pavement shall only begin after the entire contributing drainage area has been stabilized. The proposed site should be checked for existing utilities prior to any excavation. Do not install the system in rain or snow.
 3. Temporary erosion and sediment (E&S) controls (silt fence) are needed during installation to divert stormwater away from the permeable pavement area until it is completed. The proposed permeable pavement area must be kept free from sediment during the entire construction process. Construction materials that are contaminated by sediments must be removed and replaced with clean materials.
 4. Where possible, excavators or backhoes should work from the sides to excavate the aggregate layer to its appropriate design depth and dimensions.
 5. In-situ soil testing shall be done after excavation to verify existing infiltration rate. Soils testing shall be conducted by an appropriately qualified professional, the testing can be done by the contractor, the designer, or a third party hired by owner. The results of the testing shall be given to the designer of record for review. If results show a lower infiltration rate than the rate of design the depth of aggregate must be revised.
 6. The native soils along the bottom and sides of the permeable pavement system should be scarified or tilled to a depth of 3 to 4 inches prior to the placement of the filter layer or filter fabric.
 7. Filter fabric should be installed on the bottom and the sides of the aggregate layer.
 8. Place observation wells as shown on plans.
 9. Inspect all aggregate prior to placement. Ensure aggregate is clean, free of fines and conform to the plans and specifications. All aggregate shall be spread (not dumped). Moisture and spread the washed stone without driving on the soil subgrade, being careful not to damage the observation wells. Follow compaction recommendations by the permeable pavement manufacturer or that from industry guidelines.
 10. Ensure edge restraints and barriers between permeable pavement are installed per design.
 11. Contractor is to follow standard installation procedures for the specific type of pervious pavement that is being installed. For this project pervious concrete will be installed. Only certified and experienced contractors shall install the pervious concrete and installation shall be per the manufacturer recommendations, product standards and industry guidelines. Pervious concrete shall be constructed in accordance with the latest version of ACI 522.1, Specifications for Pervious Concrete.
 12. After installation, protect the installed pervious concrete until project completion, including routing construction traffic away from the installed pervious concrete. Contractor shall provide protection techniques including mats, plastic sheeting and barriers to ensure the pervious concrete remains protected until project completion.

- NOTES:**
1. A THREE-FOOT HIGH, 10 FOOT WIDE BUFFER IS REQUIRED IN THE FRONT YARD.
 2. A LIGHTING PLAN SHALL BE PROVIDED SHOWING ALL OUTDOOR LIGHTING FIXTURES, TYPE AND WATTAGE. GLARE SHALL BE MINIMIZED THROUGH THE USE OF DIRECTIONAL FIXTURES.
 3. ACCESS THROUGH RESIDENTIAL AREAS IS PROHIBITED.
 4. THE STREETYARD REGULATIONS DEFINED IN THE CB ZONING DISTRICT APPLY.
 5. SIX (6) PERCENT OF THE GROSS PARCEL AREA SHALL BE LANDSCAPED TO THE FOLLOWING STANDARDS:
 - LANDSCAPED AREAS SHALL BE EVENLY LOCATED AROUND THE PERIMETER OF THE PARCEL
 - ONE (1) TREE AND (6) SHRUBS SHALL BE PLANTED FOR EVERY FIFTEEN (15) PARKING SPACES
 - FIFTY (50) PERCENT OF TREES SHALL BE OF A SHADE/CANOPY VARIETY AS DEFINED IN THIS CHAPTER

ED SITE DATA TABLE	
CURRENT USE:	MEDICAL OFFICE
PROPOSED USE:	NHRMC PARKING
SITE ADDRESS:	1612 MEDICAL CENTER DR.
PARCEL ID#:	R06011-003-006-000
MAP ID#:	312611.57.0161.000
PARCEL AREA:	0.458 AC (19,960) SF
ZONING:	O&I-1 OFFICE AND INSTITUTIONAL
CAMA LAND USE:	URBAN
SOILS:	KURTS-HYDROLOGIC SOIL GROUP "A"
PARCEL NOT LOCATED WITHIN 100 YEAR FLOOD ZONE	
BUILDING SETBACKS (REQUIRED):	FRONT SETBACK: 20' INTERIOR SIDE SETBACK: 10' CORNER SIDE SETBACK: 20' REAR SETBACKS: 20'
BUFFER REQUIRED:	20' ALONG MF-M BORDER
STREETYARD REQUIRED:	18 MULTIPLIER
OFF-SITE PARKING FOR NHRMC:	
PARKING REQUIREMENT HOSPITAL:	1 PER EACH 2 LICENSED BEDS INTENDED FOR PATIENT USE, 1 PER EACH STAFF PERSON, INCLUDING MEDICAL AND SUPPORT STAFF BASED ON THE LARGEST EMPLOYEE SHIFT.
	-NO NEW BEDS -NO NEW EMPLOYEES -NO EXISTING PARKING
PARKING PROPOSED:	34 SPACES
HC SPACES REQUIRED:	2 SPACES
HC SPACES PROPOSED:	2 SPACES
BICYCLE PARKING REQUIRED:	5
BICYCLE PARKING PROPOSED:	5
EXISTING IMPERVIOUS AREA:	
BUILDING:	5,300 SF
SIDEWALK:	1,452 SF
ASPHALT/CONC./C&G:	3,950 SF
TOTAL:	10,702 SF (ALL TO BE REMOVED)
PERCENT IMP.:	53.61%
PROPOSED IMPERVIOUS AREA:	
ASPHALT/CONC./C&G:	8,284 SF
SIDEWALK ON SITE:	118 SF
PERVIOUS PAVEMENT:	1,480 SF (AFTER 75% CREDIT 5,917 SF X 0.25)
TOTAL ON SITE:	9,882 SF
PERCENT IMP.:	49.49%
ASPHALT REMOVED OFF SITE:	950 SF
ASPHALT, CONCRETE, CURB AND GUTTER ADDED OFF SITE:	942 SF
NO TRASH REMOVAL SERVICE PROVIDED AS PART OF PARKING LOT PROJECT	

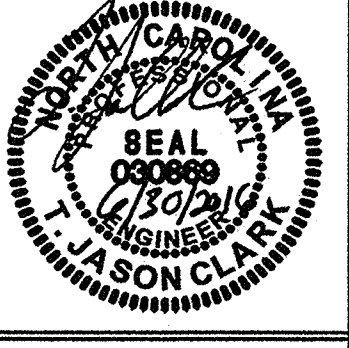
SYMBOL	DATE	DESCRIPTION	REVISIONS	BY
			© 2016 NORRIS & TUNSTALL	

NORRIS & TUNSTALL
 GRADING, DRAINAGE AND EROSION CONTROL PLAN
 NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.
 1612 MEDICAL CENTER DRIVE
 WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 PO BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
 902 MARKET STREET
 WILMINGTON, NC 28401
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 license #C-3641

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C2

PARCEL# R06011-002-018-000
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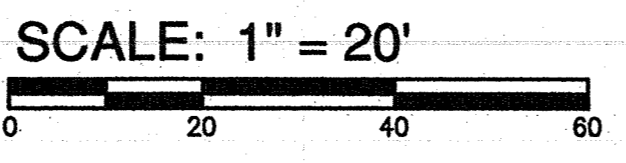
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DRAINAGE AREA TABLE

	TOTAL AREA	IMP. AREA
DA PC-1	2,500 SF	350 SF
DA PC-2	4,000 SF	233 SF
DA CI-1	2,044 SF	1,598 SF
*DA DI-2	14,810 SF	7,405 SF
DA DI-3	2,625 SF	2,625 SF
DA 4	400 SF	0 SF
DA CI-5	3,136 SF	3,136 SF

*INCLUDES OFF SITE



17TH STREET
 150' PUBLIC ROW

Medical Center Drive
 50' PUBLIC ROW

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
©2016 NORRIS & TUNSTALL			

DRAINAGE AREA PLAN
 NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.
 1612 MEDICAL CENTER DRIVE
 WILMINGTON, N. C.

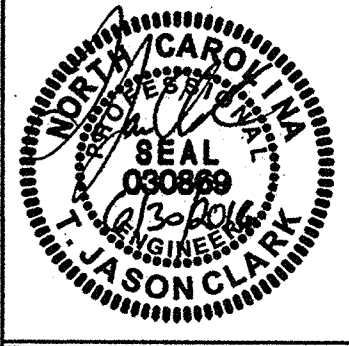
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 NHRMC
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 910-343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
 1429 ASH-LITTLE RIVER RD. NW
 WILMINGTON, NC 28420
 PHONE (910) 343-9653
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16031

DES. JST
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 DRAW. NKS

DATE 6/30/16



C2.1

For each open utility cut of City streets, a \$225 permit shall be required from the City prior to occupancy and/or project acceptance.

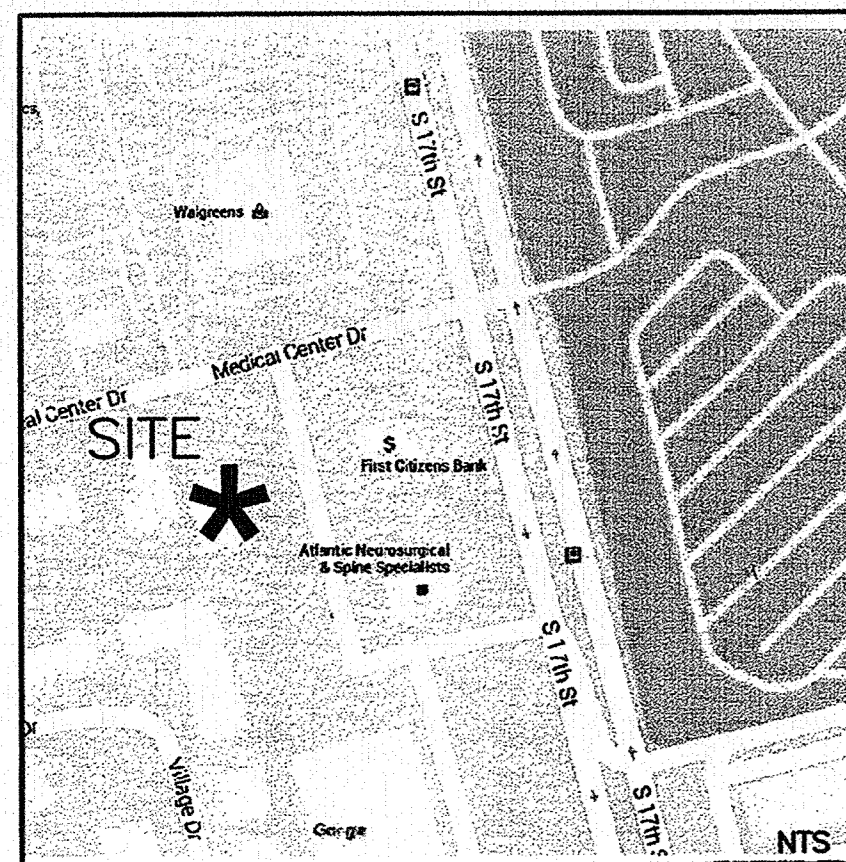
City of WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division

APPROVED DRAINAGE PLAN
 Date: 7-7-16 Permit # 2016022

Signed: *[Signature]*
 Title: *[Title]*

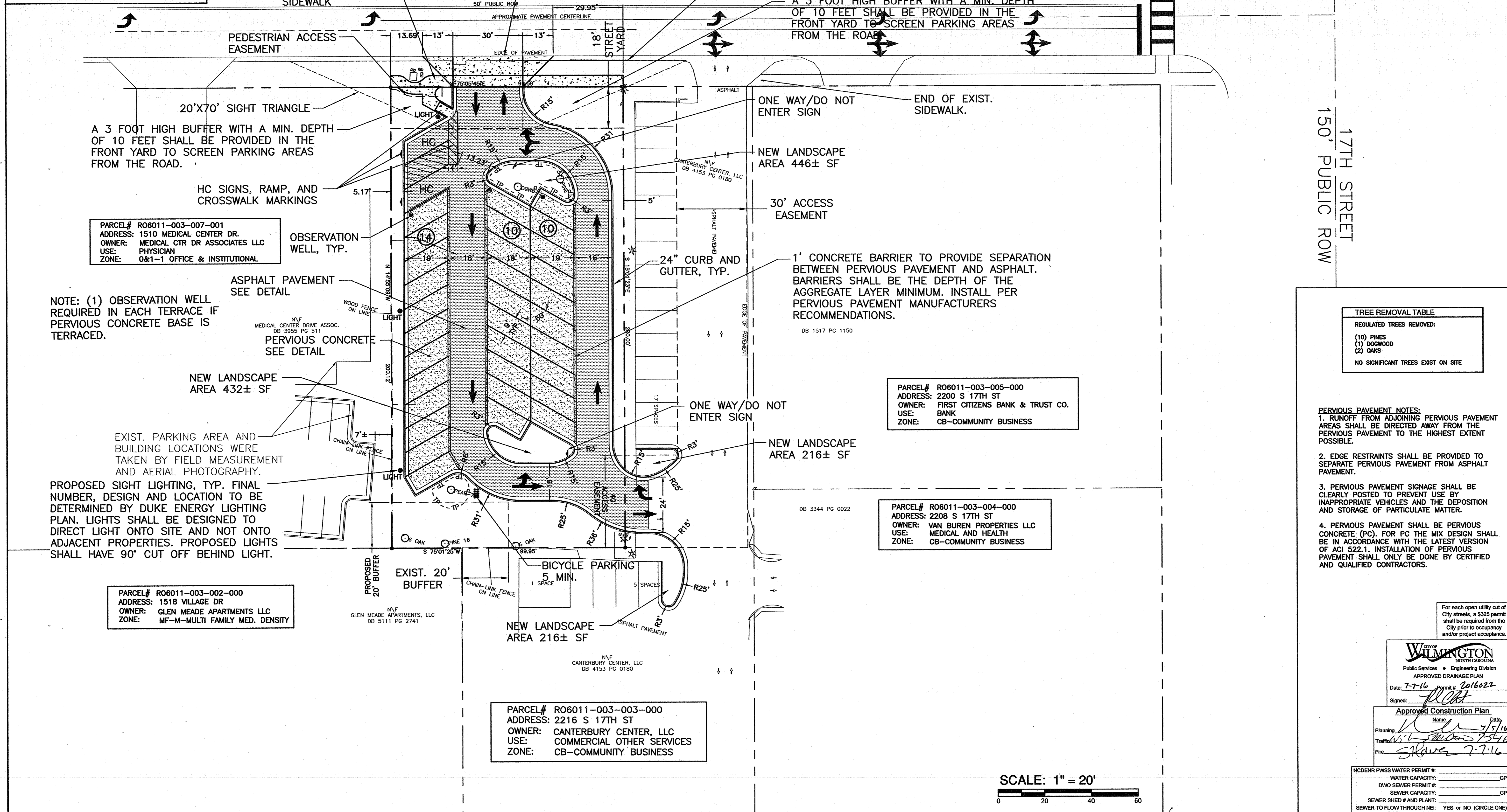
APPROVED CONSTRUCTION PLAN
 Name: *[Signature]* Date: 7/7/16
 Planning: *[Signature]*
 Traffic: *[Signature]*
 Fire: *[Signature]*

NC DENR PWSS WATER PERMIT # _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT # _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



VICINITY MAP

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 USE: PHYSICIAN
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NOTE: (1) OBSERVATION WELL REQUIRED IN EACH TERRACE IF PERVIOUS CONCRETE BASE IS TERRACED.

ASPHALT PAVEMENT SEE DETAIL
 PERVIOUS CONCRETE SEE DETAIL

EXIST. PARKING AREA AND BUILDING LOCATIONS WERE TAKEN BY FIELD MEASUREMENT AND AERIAL PHOTOGRAPHY.
 PROPOSED SIGHT LIGHTING, TYP. FINAL NUMBER, DESIGN AND LOCATION TO BE DETERMINED BY DUKE ENERGY LIGHTING PLAN. LIGHTS SHALL BE DESIGNED TO DIRECT LIGHT ONTO SITE AND NOT ONTO ADJACENT PROPERTIES. PROPOSED LIGHTS SHALL HAVE 90° CUT OFF BEHIND LIGHT.

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 USE: BANK
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-004-000
 ADDRESS: 2208 S 17TH ST
 OWNER: VAN BUREN PROPERTIES LLC
 USE: MEDICAL AND HEALTH
 ZONE: CB-COMMUNITY BUSINESS

17TH STREET
 150' PUBLIC ROW

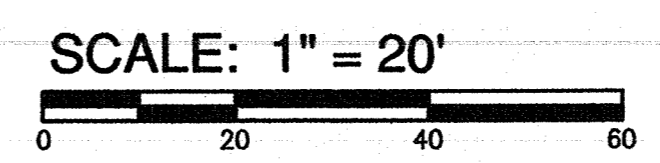
TREE REMOVAL TABLE	
REGULATED TREES REMOVED:	
(10) PINES	
(1) DOGWOOD	
(2) OAKS	
NO SIGNIFICANT TREES EXIST ON SITE	

- PERVIOUS PAVEMENT NOTES:**
1. RUNOFF FROM ADJOINING PERVIOUS PAVEMENT AREAS SHALL BE DIRECTED AWAY FROM THE PERVIOUS PAVEMENT TO THE HIGHEST EXTENT POSSIBLE.
 2. EDGE RESTRAINTS SHALL BE PROVIDED TO SEPARATE PERVIOUS PAVEMENT FROM ASPHALT PAVEMENT.
 3. PERVIOUS PAVEMENT SIGNAGE SHALL BE CLEARLY POSTED TO PREVENT USE BY INAPPROPRIATE VEHICLES AND THE DEPOSITION AND STORAGE OF PARTICULATE MATTER.
 4. PERVIOUS PAVEMENT SHALL BE PERVIOUS CONCRETE (PC). FOR PC THE MIX DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF ACI 522.1. INSTALLATION OF PERVIOUS PAVEMENT SHALL ONLY BE DONE BY CERTIFIED AND QUALIFIED CONTRACTORS.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON, NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 7-7-16 Permit # 2016022
 Signed: [Signature]
 Approved Construction Plan
 Name: [Name] Date: 7/5/16
 Planning: [Signature] Date: 7/5/16
 Traffic: [Signature] Date: 7/5/16
 File: [Signature] Date: 7-7-16

NCDEM PWS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWO SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)



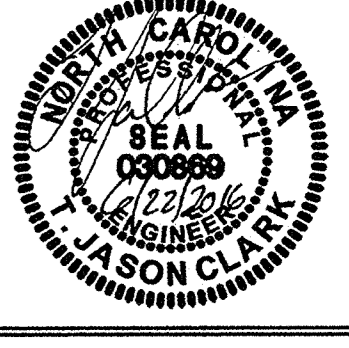
SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

LAYOUT PLAN
 AND TREE REMOVAL PLAN
 NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.
 1612 MEDICAL CENTER DRIVE
 WILMINGTON, N.C.

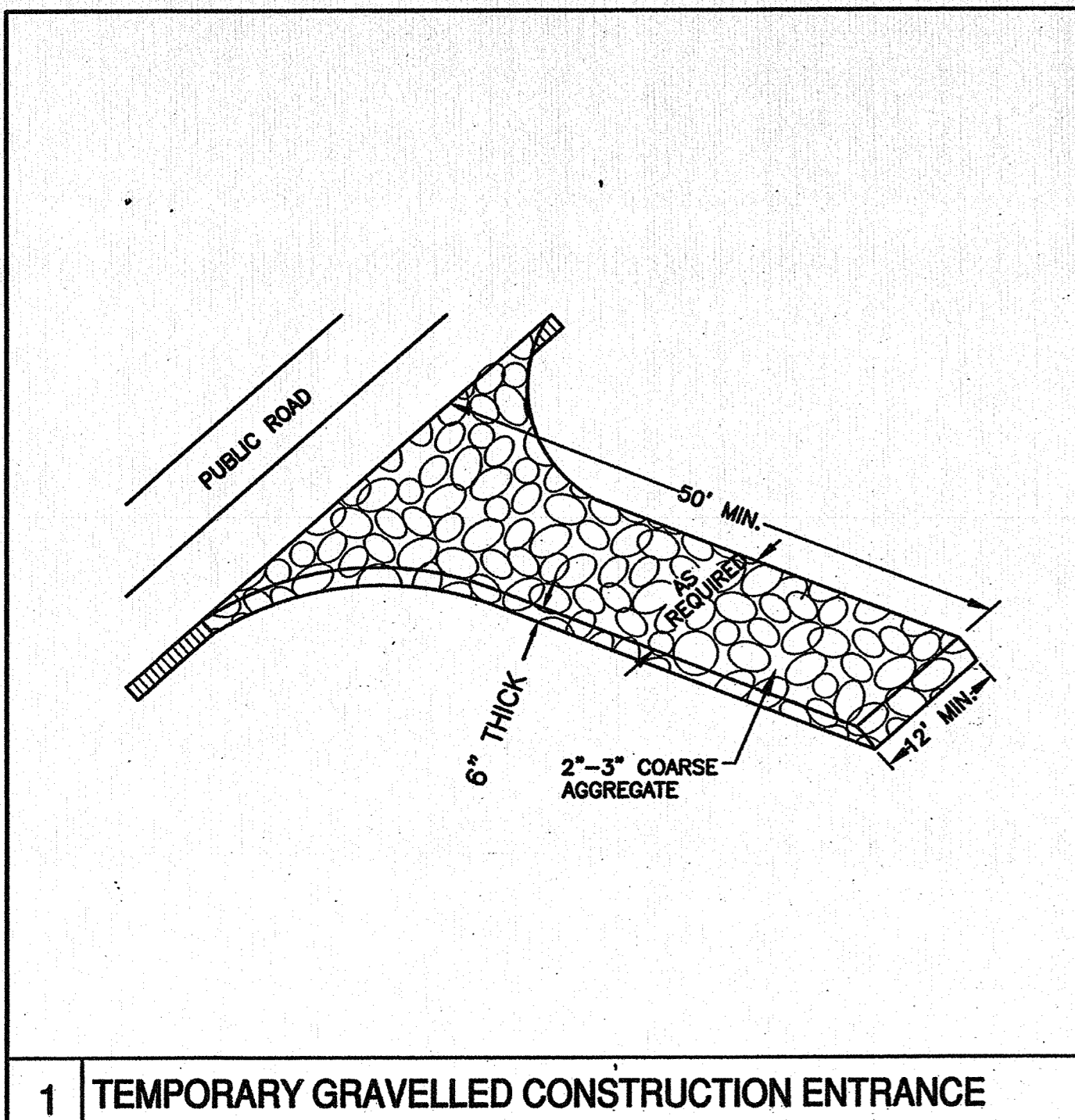
OWNER/DEVELOPER
 NHRMC
 PO BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
 902 MARKET STREET
 WILMINGTON, NC 28401
 PHONE (910) 343-9655
 1429 ASH-LITTLE RIVER RD, NW
 WILMINGTON, NC 28420
 PHONE (910) 287-8800
 license #C-3641

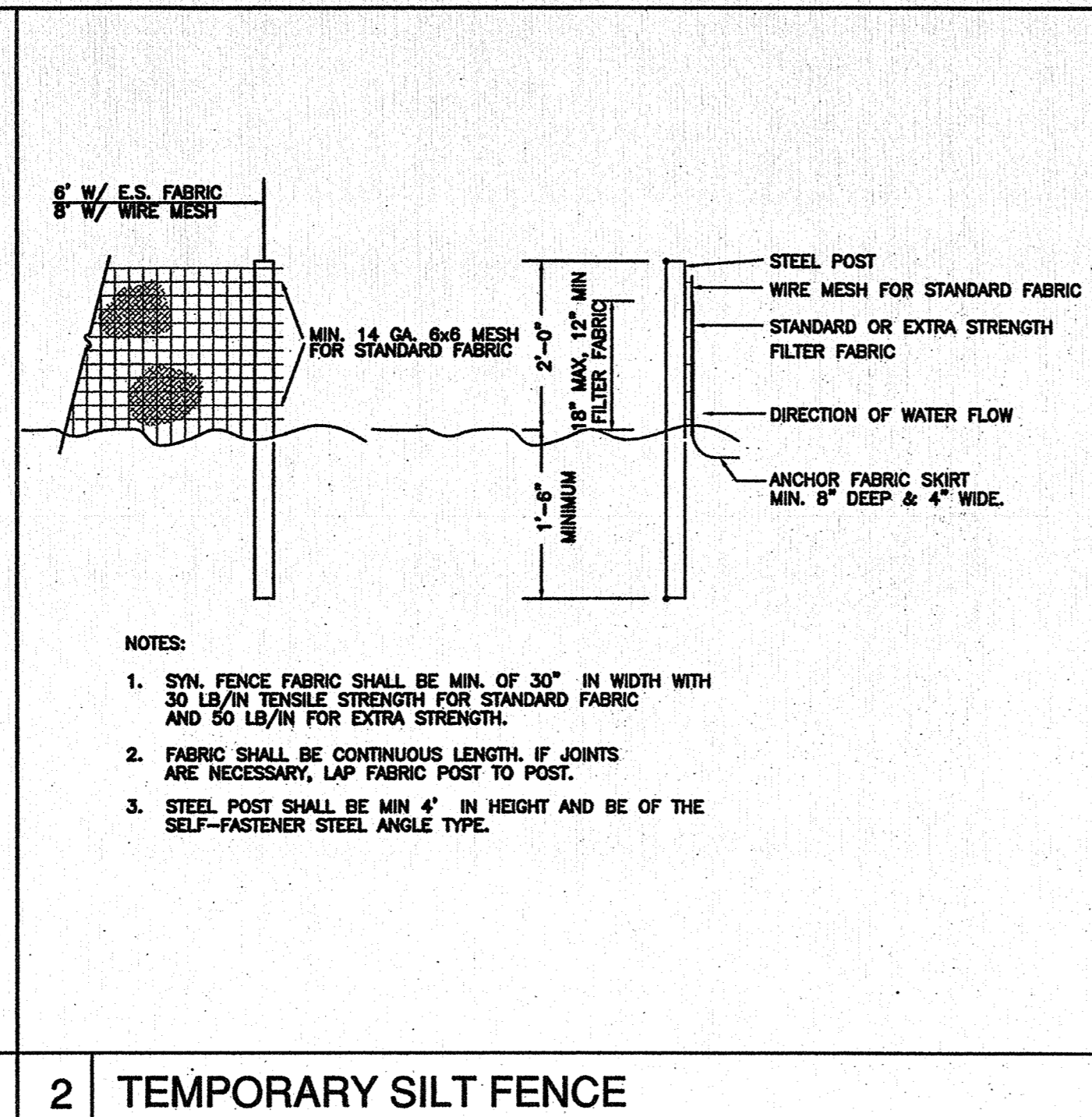
16031
 DES. JUST
 C.D. JPN
 DRWN. NKS
 DATE 6/22/16



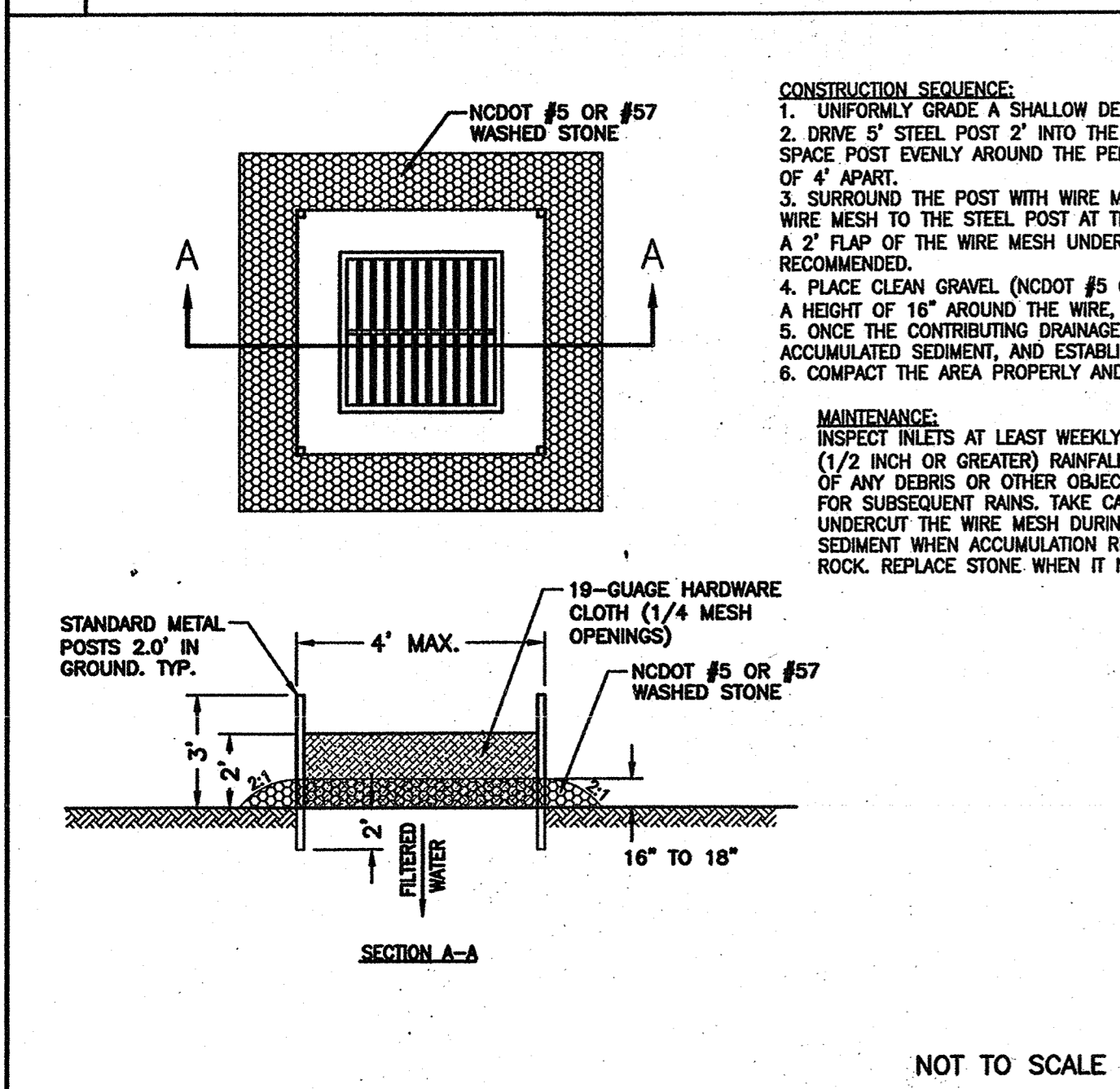
C3



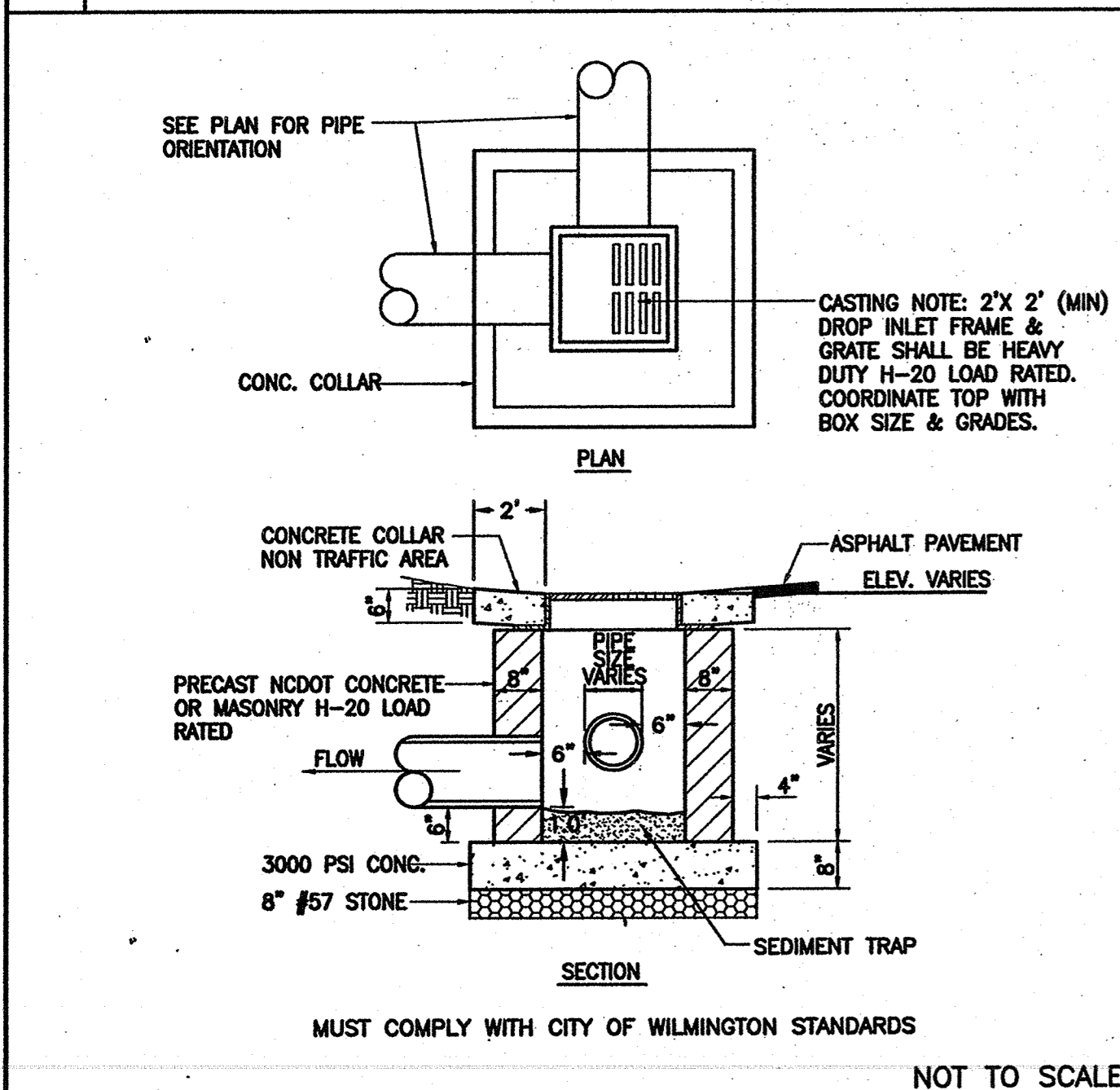
1 TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE



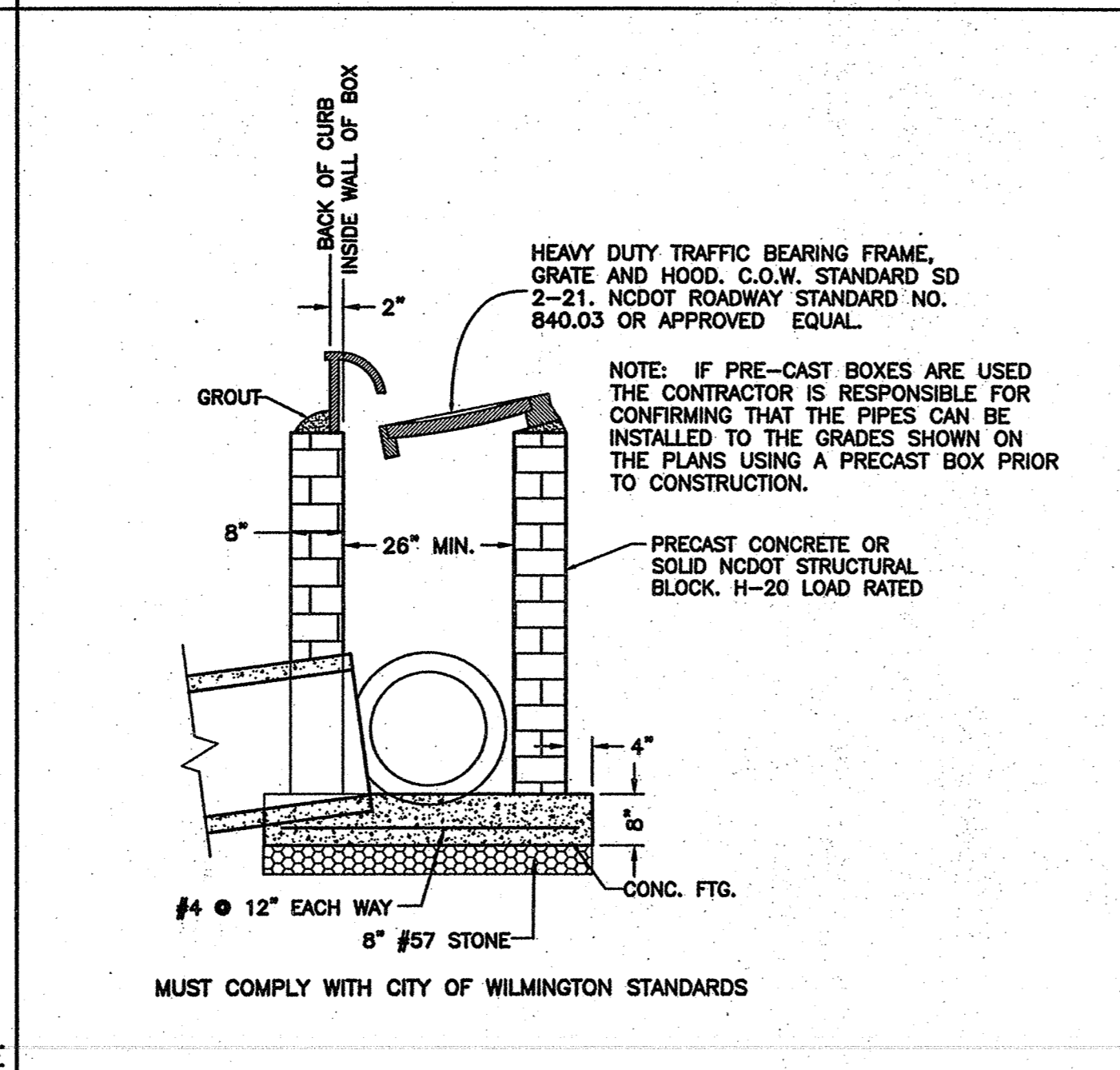
2 TEMPORARY SILT FENCE



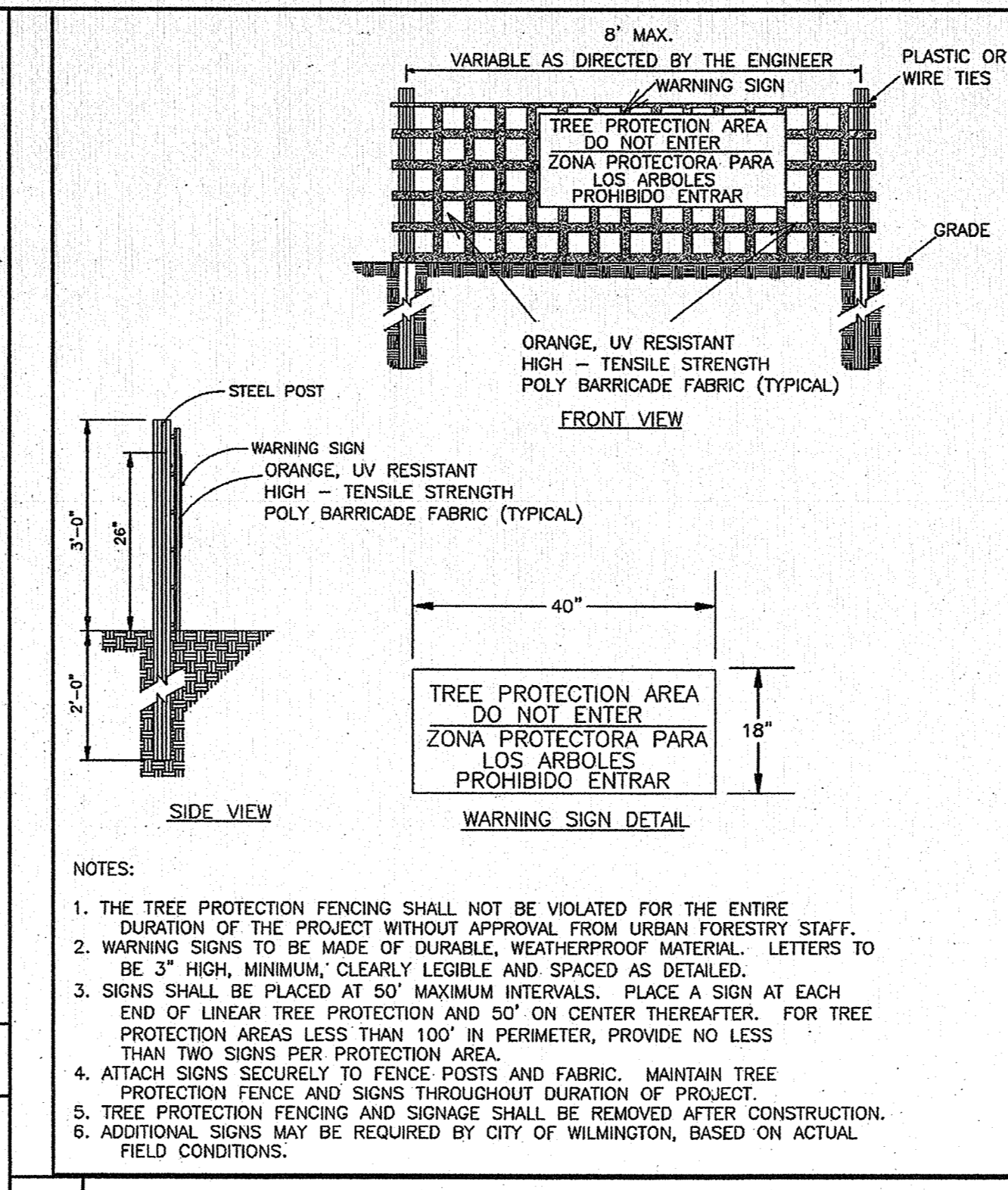
4 HARDWARE CLOTH AND GRAVEL INLET PROTECTION



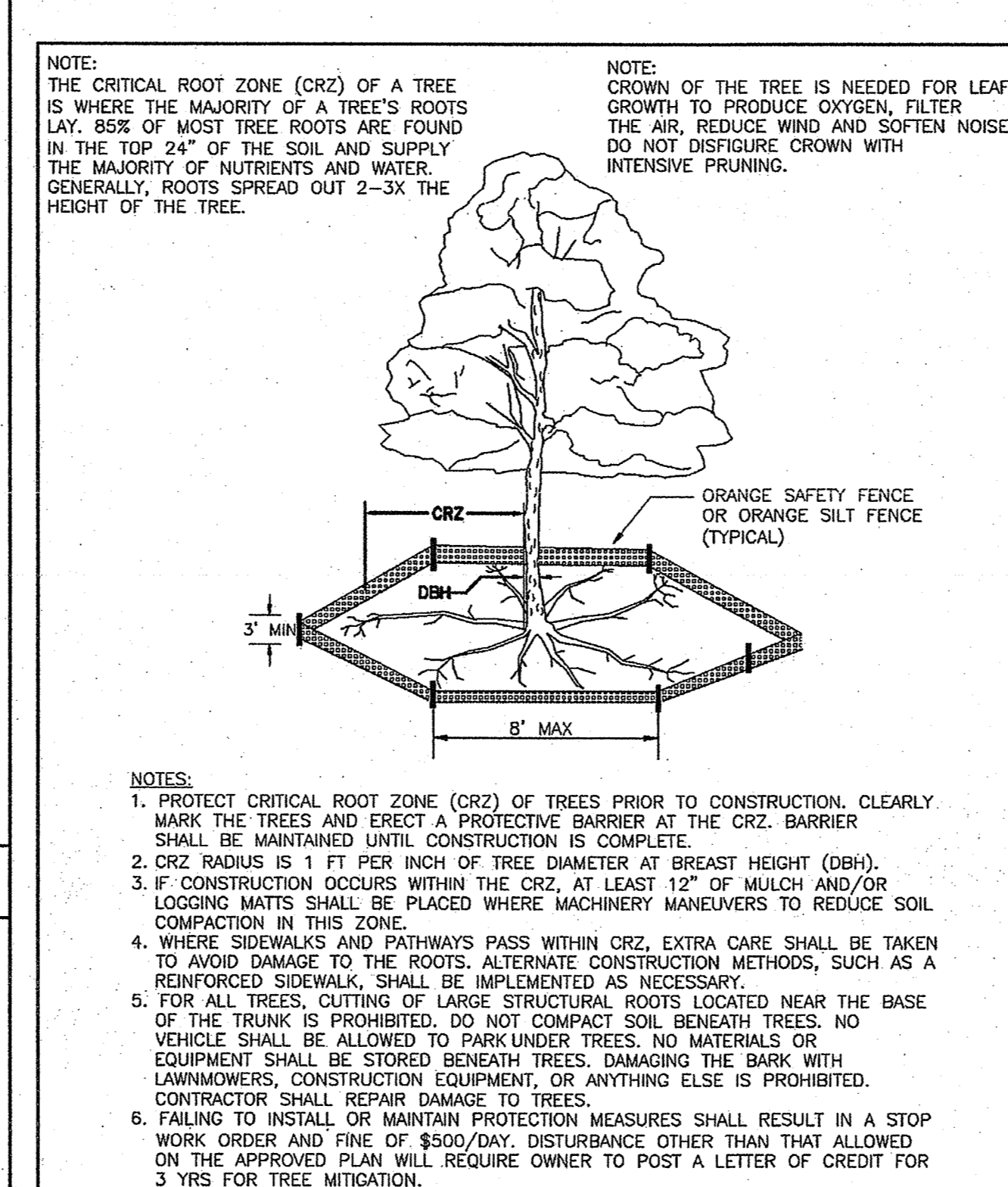
7 DROP INLET DETAIL



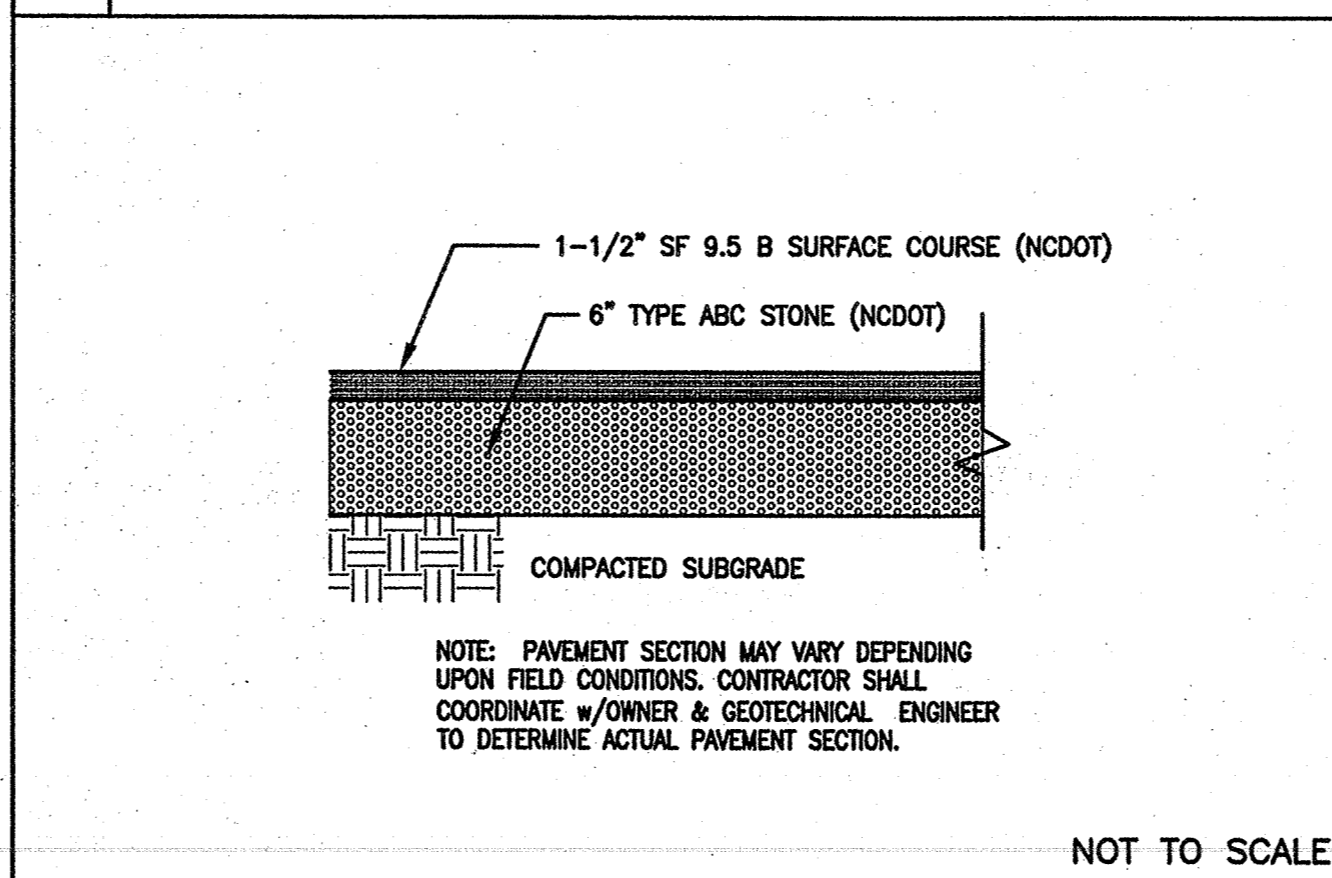
8 CATCH BASIN DETAIL



3 TREE PROTECTION DETAIL



6 TREE PROTECTION DETAIL



9 ASPHALT PAVEMENT SECTION

EROSION CONTROL NOTES AND MAINTENANCE PLAN:

- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATIONAL FOLLOWING RAINFALL. BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.
- ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
- SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND WATTLES, BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
- DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWAINS LESTY TEMPORARY STABILIZATION WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF-FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
- LAND QUALITY REQUIREMENTS: ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN. TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS. WATER QUALITY REQUIREMENTS: ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND ALL HIGH QUALITY WATER (HQW) ZONES SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN FOURTEEN (14) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

TEMPORARY/PERMANENT GRASS SPECIFICATION:

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS.
- RIP THE ENTIRE AREA TO A 6 INCH DEPTH.
- REMOVE ALL ROCKS, ROOTS AND OTHER OBSTRUCTIONS LEAVING SURFACES SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME AND FERTILIZER UNIFORMLY AND MIX WITH SOIL. LIME: 45 LBS. PER 1000 S.F. PHOSPHOROUS: 20 LBS PER 1000 S.F. FERTILIZER: 17 LBS. PER 1000 S.F.
- CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, UNIFORM SEED BED IS PREPARED 4-6 INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEED BED AND COVER SEED LIGHTLY. 2 - 3 LBS PER 1000 S.F. (SEE MIXTURE BELOW)
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH. GRAIN STRAW & HAY AT 75 TO 100 LBS PER 1000 S.F. WOOD CHIPS AT 500 LBS. PER 1000 S.F. JUTE & MESH AS PER MANUFACTURER
- ASPHALT FOR ANCHORING MULCH SHALL BE TYPE SS-1 EMULSION AND APPLIED AT A RATE OF 1000 GAL. PER ACRE FOR SLOPE STABILIZATION, AND 150 GAL. PER TON OF STRAW FOR ANCHORING STRAW.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEED WITHIN THE PLANTING SEASON, IF POSSIBLE. IF GRASS STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE, TREATMENT, AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- SEED FOR TEMPORARY AND PERMANENT APPLICATIONS SHALL BE:

20%	CARPET GRASS
28%	BERMUDA GRASS
20%	TURF FESCUE
10%	CREeping RED FESCUE
20%	ANNUAL RYE GRAIN

 *BERMUDA SEED SHALL BE HULLED FOR WARM WEATHER PLANTING. PURITY OF SEED SHALL BE A MIN. OF 98% AND GERMINATION SHALL BE A MIN. OF 85%.

ALL DISTURBED AREA SHALL BE SEEDED WITHIN 7-14 DAYS OF THE COMPLETION OF GRADING. SEE EROSION CONTROL AND MAINTENANCE NOTES. CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDEED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS. OTHER SEEDING SCHEDULES MAY BE POSSIBLE.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of Wilmington
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 7-7-16 Permit: 2016022
Signed: [Signature]
Name: [Name] Date: 7/5/16
Planning: [Signature] 7/5/16
Traffic: [Signature] 7/5/16
File: [Signature] 7-7-16

Approved Construction Plan
Name: [Name] Date: [Date]
Traffic: [Signature] 7/5/16
File: [Signature] 7-7-16

NCDENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWO SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
© 2014 NORRIS & TUNSTALL			

10 TYPICAL GRASS SWALE

NOTES AND DETAILS
NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR
1612 MEDICAL CENTER DRIVE
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
1429 ASH-LITTLE RIVER RD, NW
WILMINGTON, NC 28402
PHONE (910) 287-5900
FAX (910) 287-5900
license #C-3641

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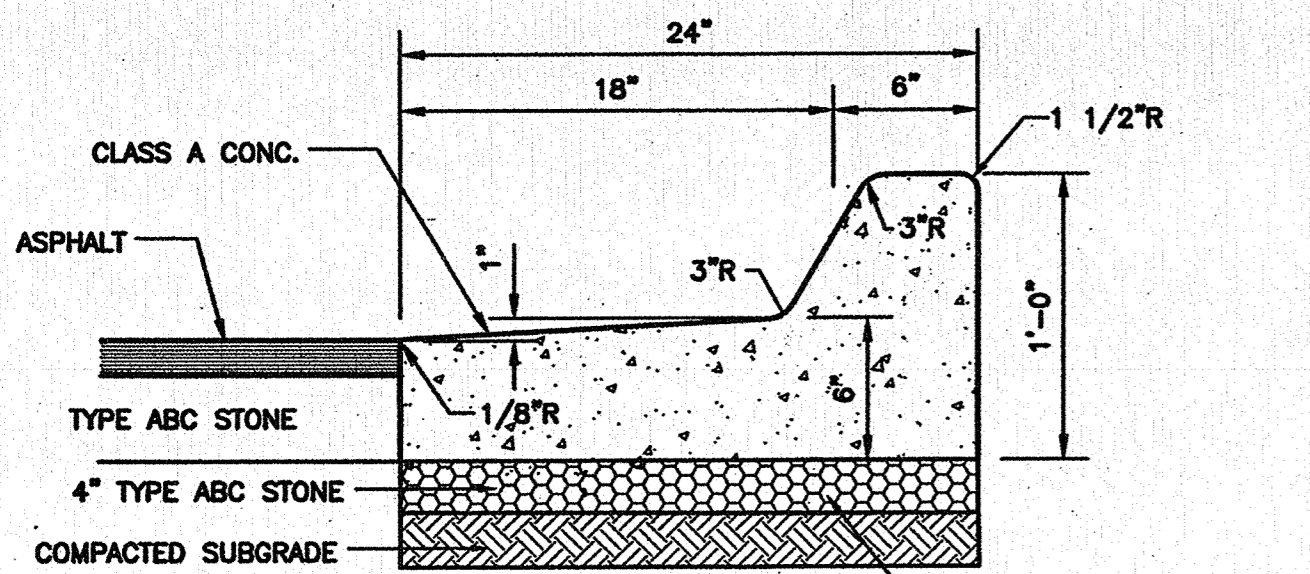
DES. JST
CKD. JPN
DRWN. NKS

DATE 6/30/16

SEAL
NORRIS & TUNSTALL
REGISTERED PROFESSIONAL ENGINEER
No. 030899
EXPIRES 12/31/2018
CIVIL ENGINEER
STATE OF NORTH CAROLINA

C4

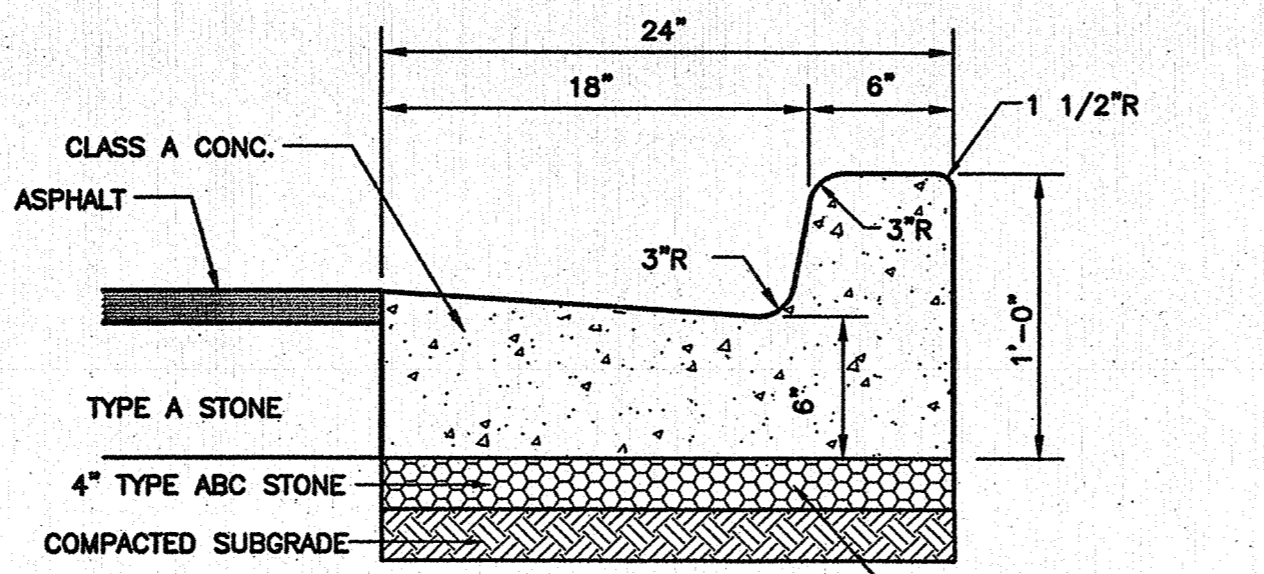
NOTE: INSTALLATION OF NEW 24" CURB AND GUTTER ALONG GLEN MEADE ROAD SHALL REQUIRE A 6" ABC STONE BASE.



NOTE: CURB TYPE DEPENDS ON GRADES SHOWN ON GRADING PLAN. GRADES INDICATING FALL AWAY FROM CURB SHALL BE SPILL OFF TYPE CURB. GRADES INDICATING CURB ACCEPTING FLOW SHALL BE FLOW LINE TYPE.

NOT TO SCALE

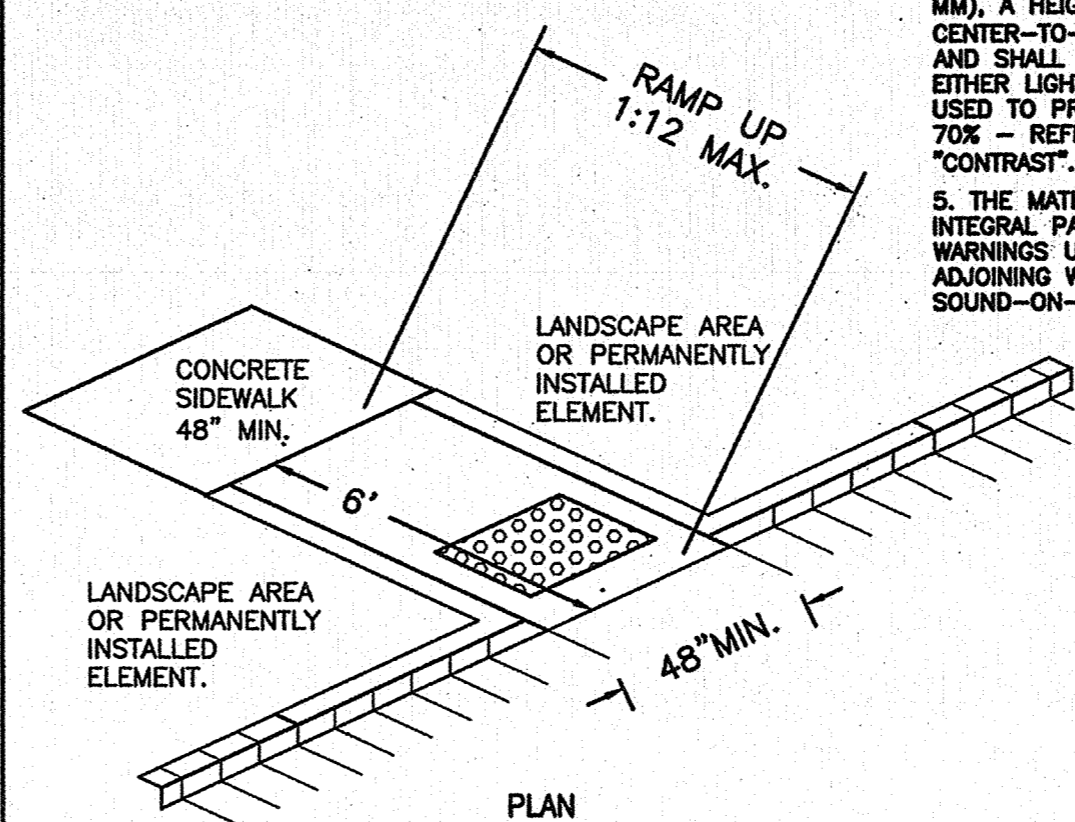
NOTE: INSTALLATION OF NEW 24" CURB AND GUTTER ALONG GLEN MEADE ROAD SHALL REQUIRE A 6" ABC STONE BASE.



NOTE: CURB TYPE DEPENDS ON GRADES SHOWN ON GRADING PLAN. GRADES INDICATING FALL AWAY FROM CURB SHALL BE SPILL OFF TYPE CURB. GRADES INDICATING CURB ACCEPTING FLOW SHALL BE FLOW LINE TYPE.

NOT TO SCALE

IF PEDESTRIANS DO NOT CROSS THE CURB CUT, THEN SIDE FLARES ARE NOT REQUIRED AND CURB ON BOTH SIDES MAY RETURN FOR FULL DEPTH OF THE CURB CUT.



- NOTE:
- RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH ADA GUIDELINES.
 - THE DETECTABLE WARNINGS AT CURB RAMP SHALL BE 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
 - MARKED CROSSINGS THAT ARE RAISED TO THE SAME LEVEL AS THE ADJOINING SIDEWALK SHALL BE PRECEDED BY A 24 INCH DEEP DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE MARKED CROSSING.
 - DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% - REFER TO ADA GUIDELINES FOR DEFINITION OF "CONTRAST".
 - THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

* SEE NOTES ON DETECTABLE WARNING

NOT TO SCALE

CITY OF WILMINGTON STANDARD NOTES:

- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING;
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCOHR OR ASSE.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
- UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- IF AN IRRIGATION SYSTEM IS PLANNED FOR THE SITE, UTILIZE MOISTURE SENSORS.
- ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
- PLEASE CONSIDER INCORPORATING XERIC LANDSCAPING FOR ALL NEW LANDSCAPING.

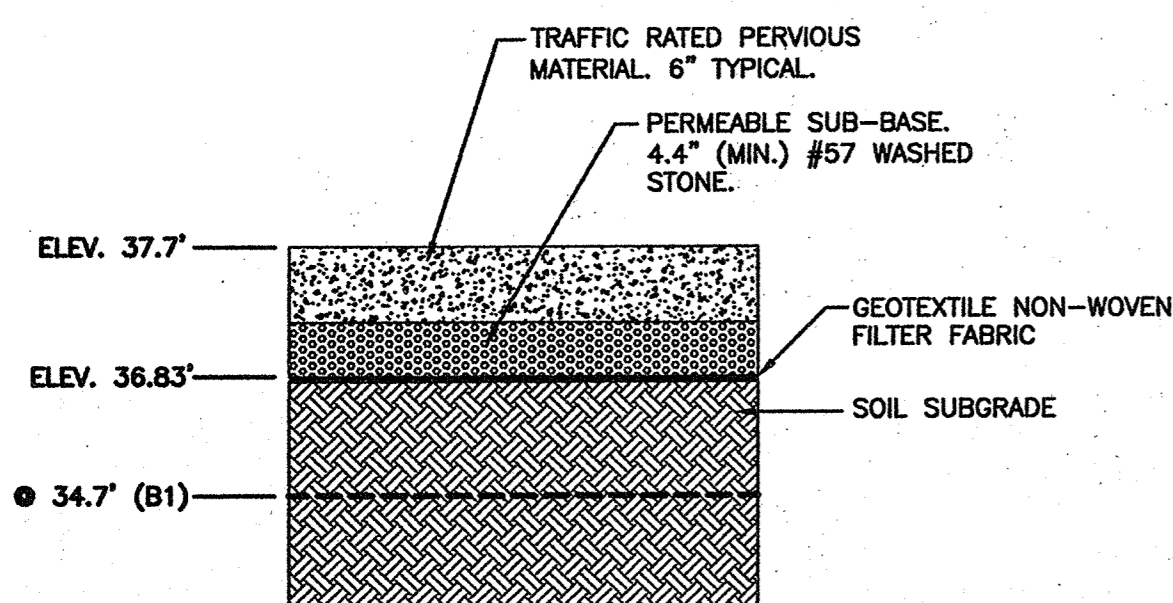
UTILITY NOTES FOR FIRE HYDRANTS:

- FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
- THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
- FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- THE CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
- UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF THE STRUCTURE.

1 24" CURB AND GUTTER SECTION (SPILL-OFF)

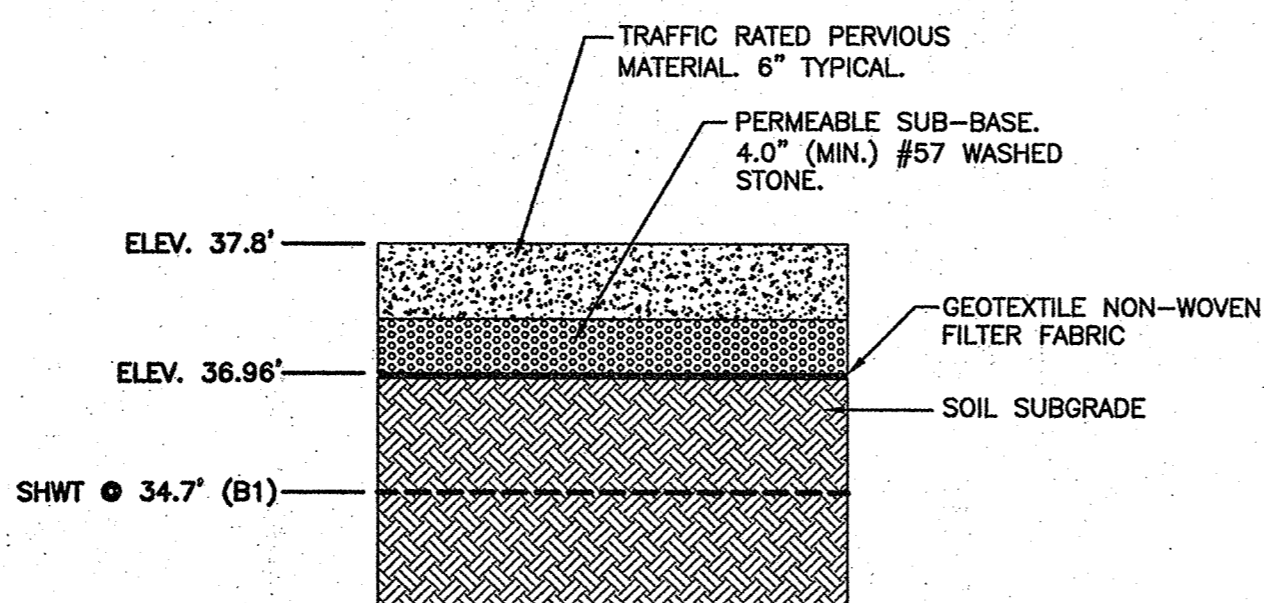
2 24" CURB AND GUTTER SECTION (FLOW-LINE)

3 SIDEWALK, CURB CUT AND WHEEL CHAIR RAMP DETAIL



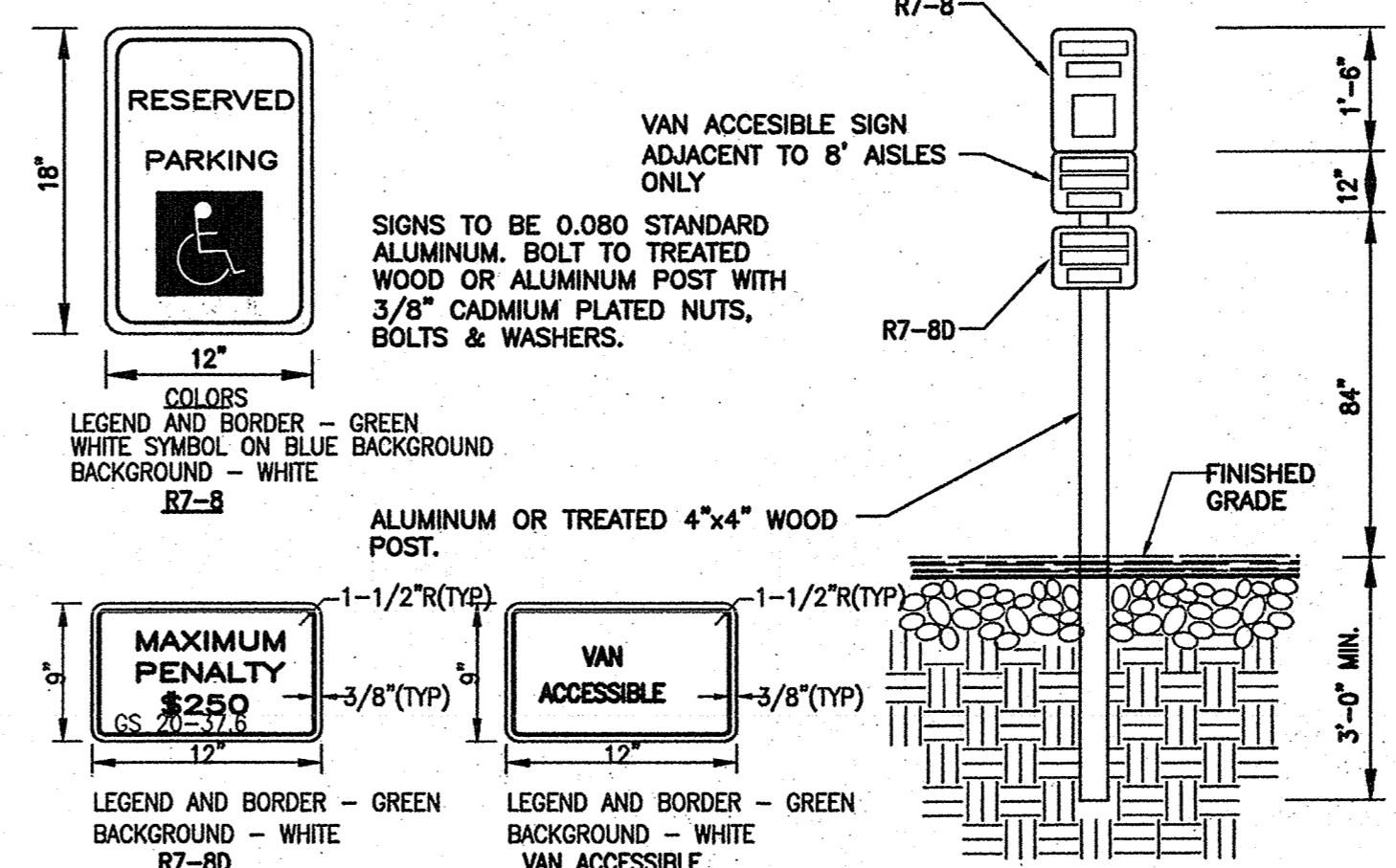
- NOTES:
- TRAFFIC RATED PERVIOUS MATERIALS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 - PERVIOUS MATERIALS SECTION MAY VARY DEPENDING UPON MANUFACTURER.

NOT TO SCALE



- NOTES:
- TRAFFIC RATED PERVIOUS MATERIALS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 - PERVIOUS MATERIALS SECTION MAY VARY DEPENDING UPON MANUFACTURER.

NOT TO SCALE



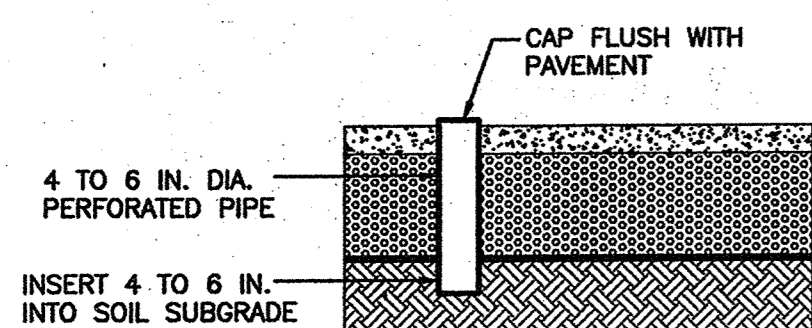
- NOTES:
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NOT TO SCALE

4 PERVIOUS PAVEMENT SECTION PC-1

5 PERVIOUS PAVEMENT SECTION PC-2

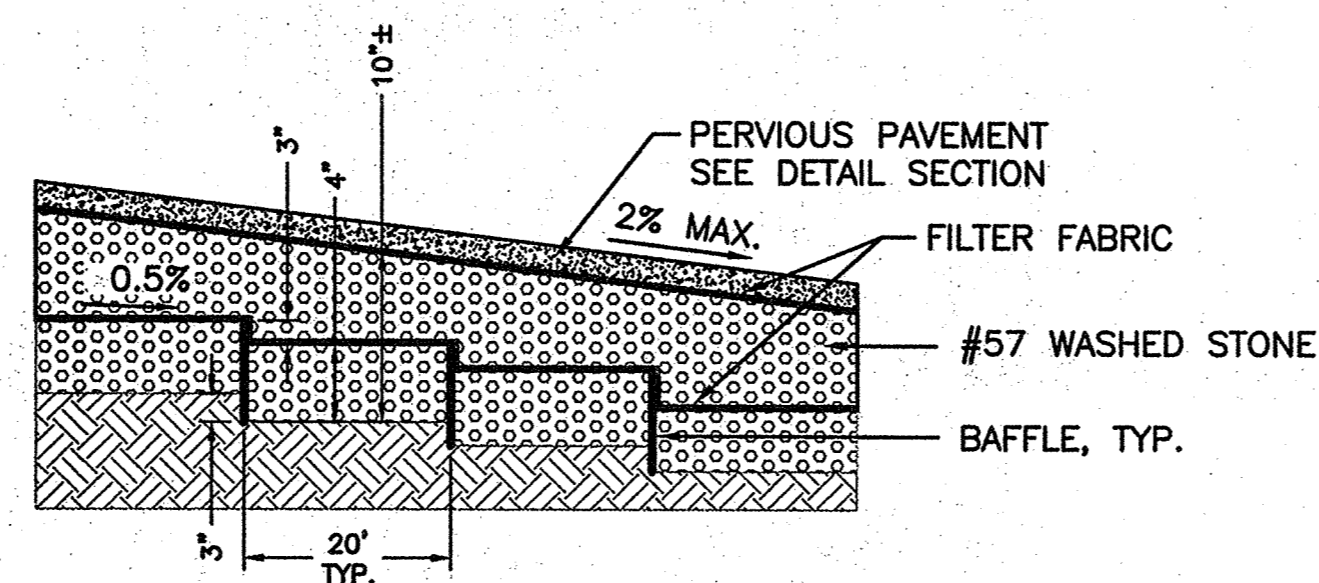
6 TYPICAL HANDICAPPED SIGN DETAIL



PERVIOUS PAVEMENT OBSERVATION WELL NOTES:

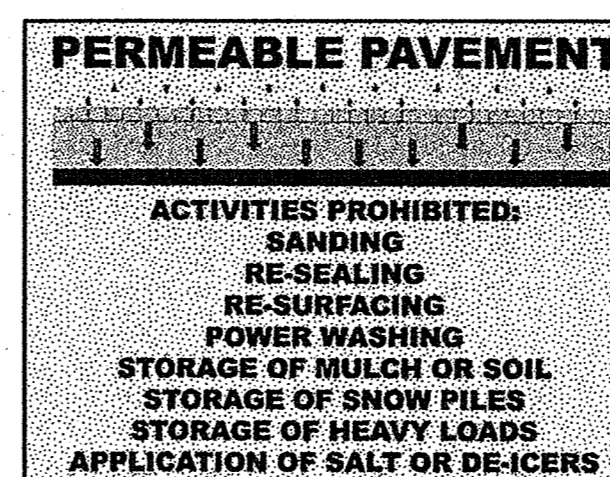
- IF THE SUBGRADE IS NOT TERRACED, THEN THE OBSERVATION WELL SHALL BE PLACED AT THE LOW END OF THE SUBGRADE SLOPE. IF THE SUBGRADE IS TERRACED, THEN ONE OBSERVATION WELL SHALL BE BUILT INTO THE LOW END OF EACH TERRACE.
- OBSERVATION WELLS SHALL BE FITTED WITH A LOCKABLE CAP INSTALLED PLACED EVEN WITH THE PAVEMENT SURFACE TO FACILITATE QUARTERLY INSPECTION AND MAINTENANCE.
- THE OBSERVATION WELL SHALL CONSIST OF A RIGID 4 TO 6 IN. DIAMETER PERFORATED PVC PIPE.

NOT TO SCALE



- DEPTH OF PERVIOUS PAVEMENT AS SPECIFIED FROM LOADING CONDITIONS.
- TOTAL WASHED STONE DEPTH PER MANUFACTURERS SPECS FOR LOAD BEARING CAPACITY.
- CONTRACTOR SHALL PROTECT PERVIOUS PAVEMENT FROM SEDIMENTATION UNTIL SURROUNDING PERMANENT VEGETATION IS ESTABLISHED.

NOT TO SCALE



- NOTES:
- THE PERMEABLE PAVEMENT SIGN IS BASED ON AN 18" X 24" STANDARD SIZE FOR SIGN PRODUCTION.
 - A HIGH-RESOLUTION IMAGE FILE CAN BE PROVIDED BY THE DWO FOR USE IN FABRICATING THE SIGN. THE GRAPHIC IS IN COLOR BUT COLOR SIGNS ARE NOT REQUIRED.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of Wilmington
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 7-7-16, Permit # 2016022
Signed: [Signature]
Approved Construction Plan
Name: [Name], Date: 7/5/16
Planning: [Signature], Date: 7/5/16
Traffic: [Signature], Date: 7/5/16
Fire: [Signature], Date: 7/7/16

NODENR PWSS WATER PERMIT #:	_____	GPD
DWO SEWER PERMIT #:	_____	GPD
SEWER CAPACITY:	_____	GPD
SEWER SHED # AND PLANT:	_____	
SEWER TO FLOW THROUGH NE:	YES OR NO (CIRCLE ONE)	

7 PERVIOUS PAVEMENT OBSERVATION WELL DETAIL

8 PERVIOUS PAVEMENT SECTION WITH BAFFLE

9 PERMEABLE PAVEMENT SIGNAGE DETAIL

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
© 2015 NORRIS & TUNSTALL			

NOTES AND DETAILS
NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.
1612 MEDICAL CENTER DRIVE
WILMINGTON, N. C.

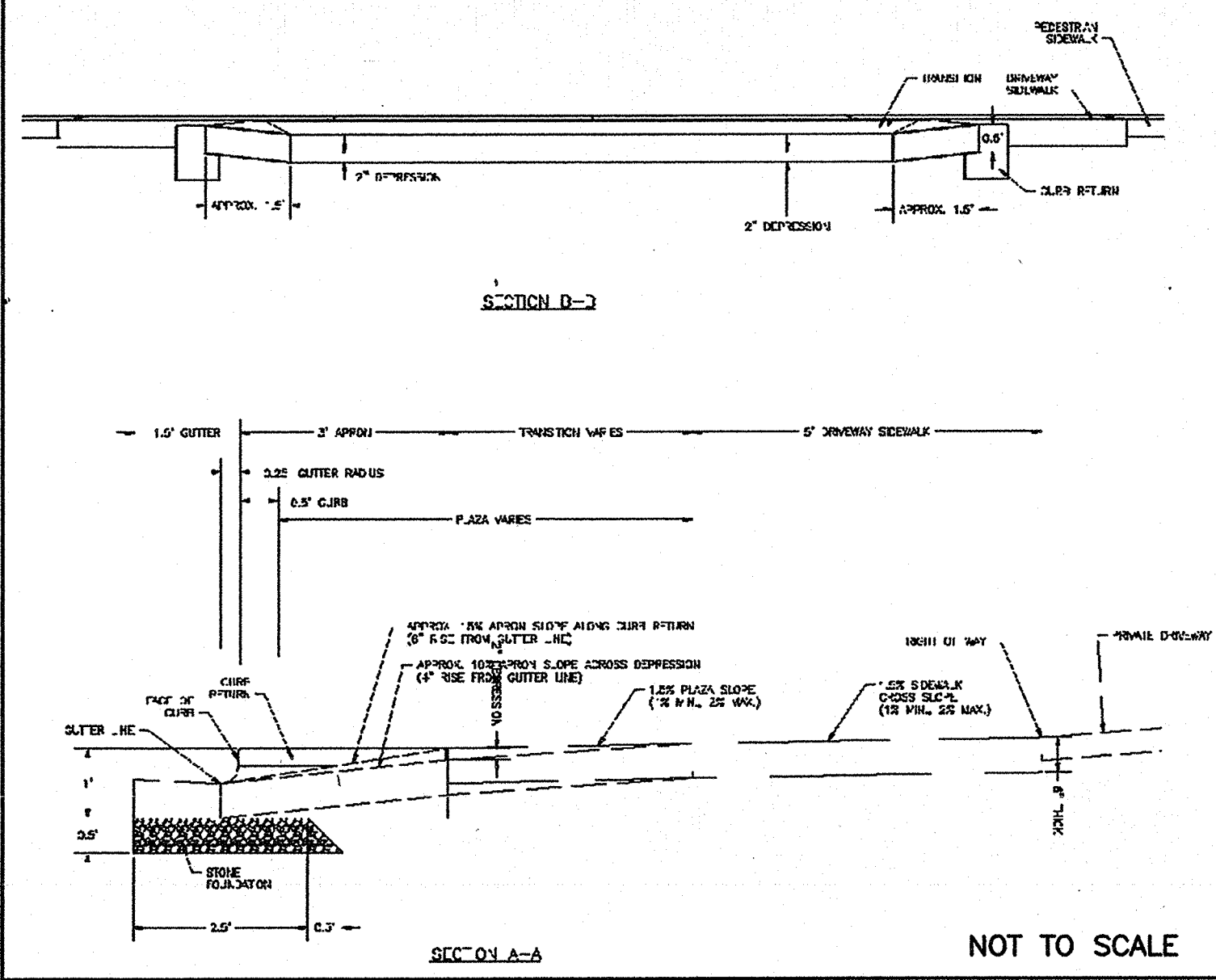
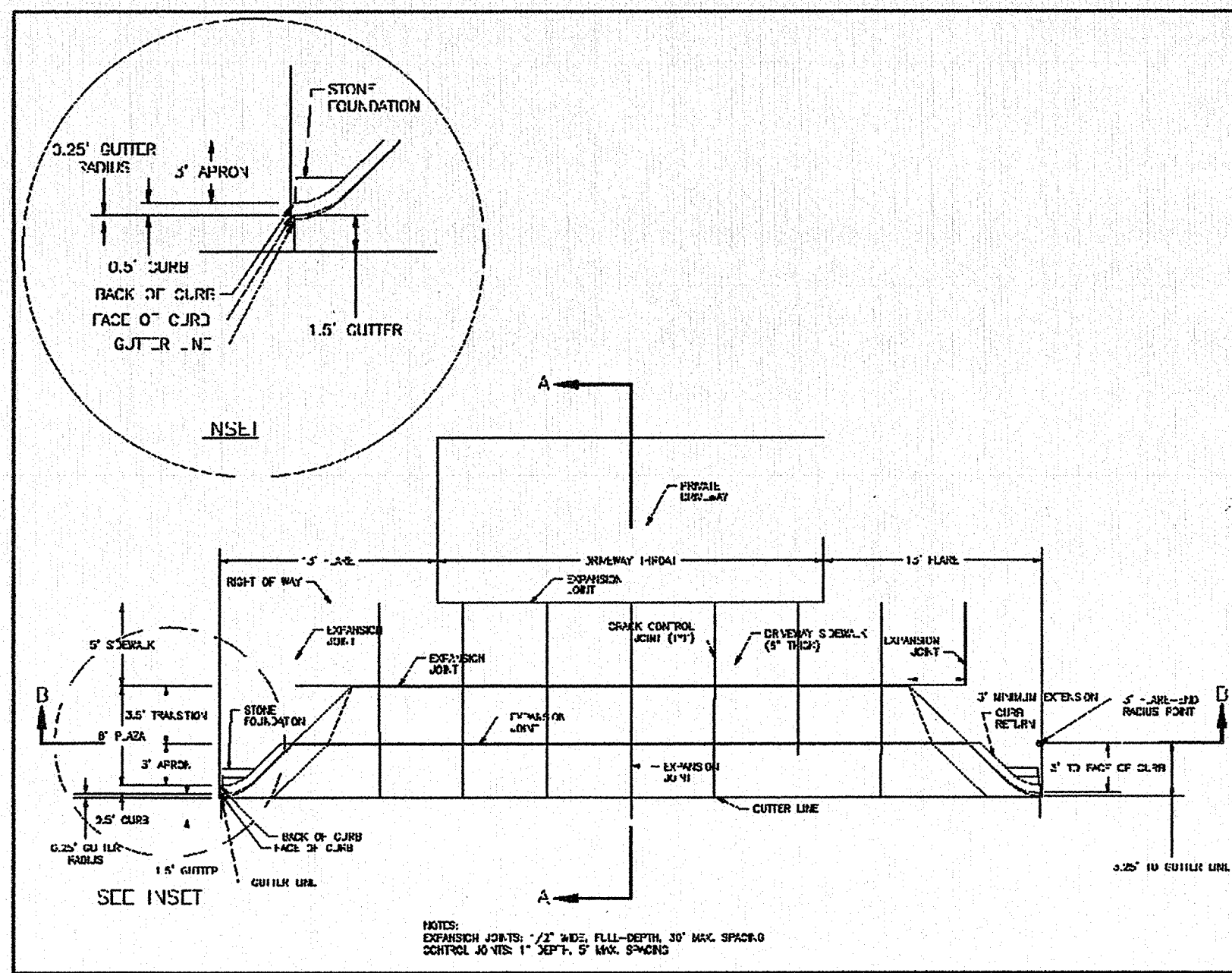
OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28420
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
1429 ASH-LITTLE RIVER RD, NW
ASH, NC 28420
PHONE (910) 287-9800
license #C-3641

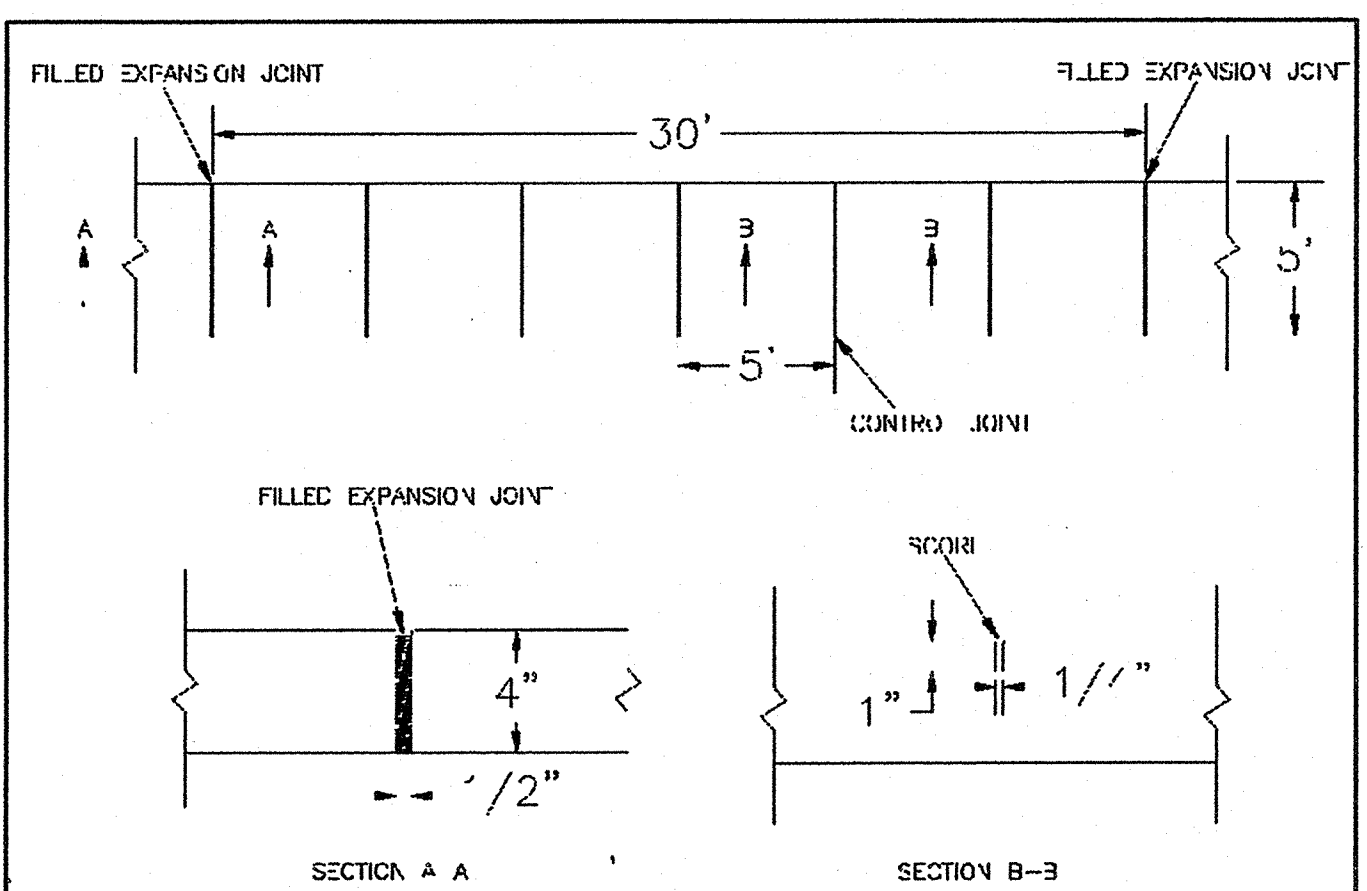
16031
DES. JST
ORD. JPN
DRAW. JNK

DATE 6/30/16
SEAL
6/30/16
JASON CLAR

C5



STANDARD CITY OF WILMINGTON DRIVE WAY DETAIL



- NOTES:
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 2. SANITARY SEWER CLEAN-OUTS, WATER METER, AND WATER MAIN LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM (1' PLACE) AT BACK OF CURB.
 4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" 3,000 PSI.
 5. MINIMUM REINFORCEMENT OR REPAIR IS A 5" x 5" PANEL.
 6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
 7. MINIMUM DEPTH FOR UNHEILING BELOW SIDEWALK IS 12"
 8. MAX ALLOWABLE GROUND SURFACE ELEVATION SHALL BE 2"
 9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT EAST DIRECTION. MAX CROSS SLOPE IS 2%. MAX OBTUSE ANGLE IS 90°. MAX 1" DIA. 1" DIA. EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

STANDARD SIDEWALK DETAIL NOT TO SCALE

SERVICE ADDRESS: _____ PHONE: _____

CFPWA SEWER - CFPWA MUST INSPECT THE CAPPED SEWER SERVICE LINE (SEE DETAIL BELOW). THIS INSPECTION MUST BE COMPLETED BEFORE ANY PERMIT IS ISSUED BY NHC INSPECTIONS.

PRIVATELY TREATED SEWER OR SEPTIC TANK - CFPWA ENGINEERING DOES NOT REQUIRE A CFPWA INSPECTION.

CSR: _____
DATE: _____

NOTES:
1. GLUE CAPS MUST BE INSTALLED 24" FROM THE CLEAN OUT ON THE PROPERTY OWNER'S SIDE, AND LEFT EXPOSED UNTIL ENGINEERING INSPECTS AND APPROVES SEWER CAP-OFF.
2. NO FEE FOR INITIAL INSPECTION. RE-INSPECTION FEE IS APPLICABLE FOR EACH RE-INSPECTION.

PIPE MATERIAL:
SCH. 40, SOLVENT WELD PVC 1120, ASTM D-1785

CFPWA REQUIRES A TWO BUSINESS DAY NOTICE PRIOR TO SCHEDULING AN INSPECTION. PLEASE CONTACT CFPWA CUSTOMER SERVICE AT (910) 332-6550 TO SCHEDULE THE INSPECTION.

I ACKNOWLEDGE RECEIPT OF THIS DOCUMENT DESIGNATING PROPER PROCEDURES FOR CAPPING THE SEWER SERVICE FOR DEMOLITION PURPOSES. OWNER MUST PROVIDE ACKNOWLEDGEMENT LETTER THAT THE CONTRACTOR IS THEIR DESIGNEE.

DATE _____ CONTRACTOR/ OWNER'S SIGNATURE _____ CONTACT PHONE NUMBER _____

SHEET TITLE: SEWER TERMINATION FOR DEMOLITION PERMITS
SCALE: NOT TO SCALE CFPWA DETAIL DATE: 02/28/16

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560
Stewardship. Sustainability. Service.

SERVICE ADDRESS: _____ PHONE: _____

CFPWA WATER - CFPWA MUST INSPECT THE CAPPED WATER SERVICE LINE (SEE DETAIL BELOW). THIS INSPECTION MUST BE COMPLETED BEFORE ANY PERMIT IS ISSUED BY NHC INSPECTIONS. CUSTOMER MAY REQUEST THE METER TO BE PULLED IF THE SITE IS NOT TO BE REDEVELOPED. NOTE TO CUSTOMER SERVICE: ISSUE SERVICE ORDER FOR REMOVAL OF CFPWA METER, IF REQUESTED.

PRIVATE WELL OR PRIVATELY OWNED COMMUNITY WATER - CFPWA ENGINEERING DOES NOT REQUIRE A CFPWA INSPECTION.

CSR: _____
DATE: _____

NOTES:
1. CAPS MUST BE INSTALLED 24" FROM THE BACK SIDE OF THE METER BOX, ON THE PROPERTY OWNER'S SIDE, AND LEFT EXPOSED UNTIL ENGINEERING INSPECTS AND APPROVES WATER CAP-OFF.
2. NO FEE FOR INITIAL INSPECTION. RE-INSPECTION FEE IS APPLICABLE FOR EACH RE-INSPECTION.

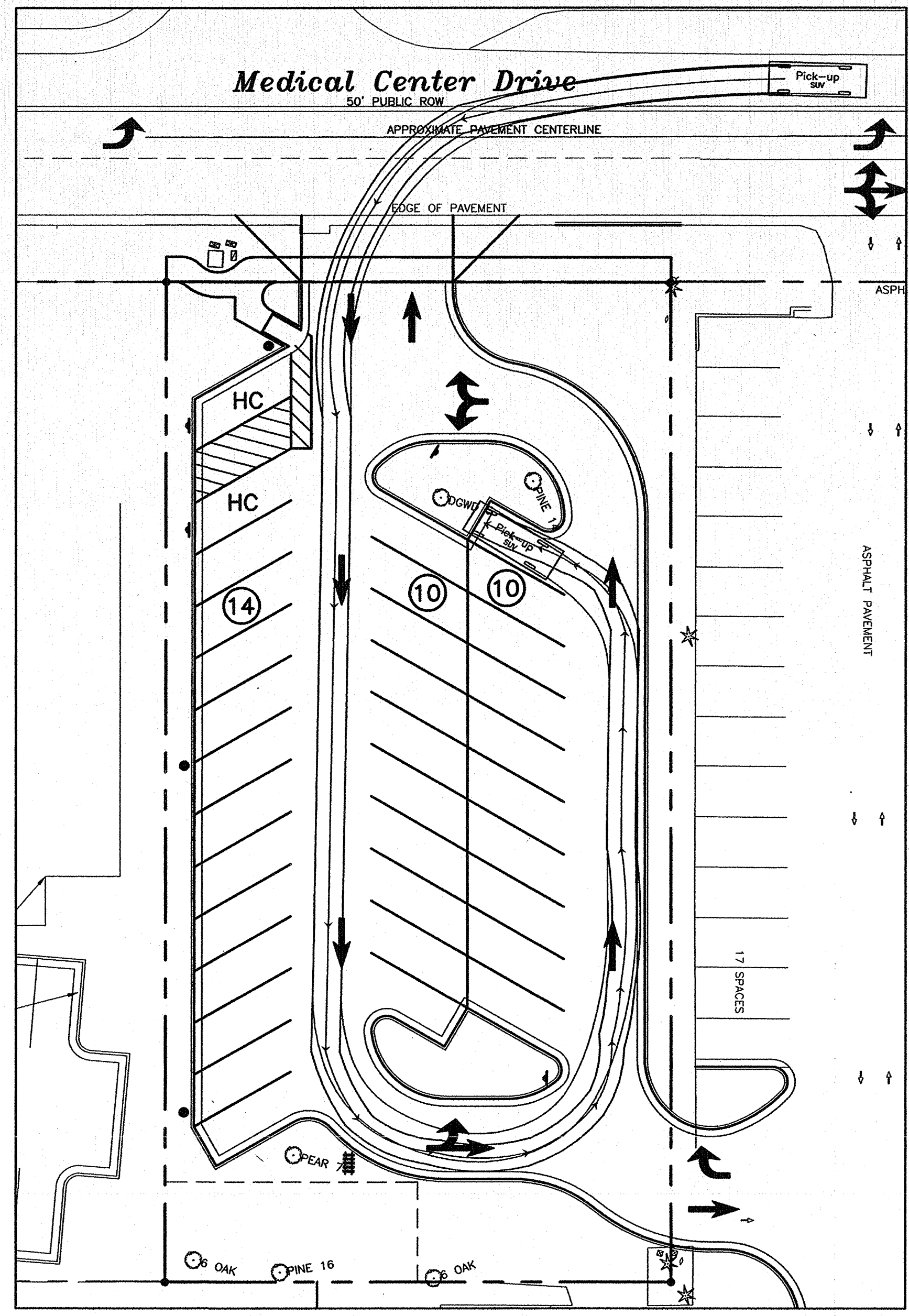
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DATE _____ CONTRACTOR/ OWNER'S SIGNATURE _____ CONTACT PHONE NUMBER _____

SHEET TITLE: WATER TERMINATION FOR DEMOLITION PERMITS
SCALE: NOT TO SCALE CFPWA DETAIL DATE: 02/28/16

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
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PICK-UP TRUCK PARKING EXHIBIT
SCALE: 1"=20'

Outdoor Lighting

Light source: LED (white)
Lumens: 13,620 (for all)

Wattage	Light Pattern	BUG Rating
LED 205	IESNA Type V	B4-U0-G2
LED 205	IESNA Type IV	B2-U0-G3
LED 205	IESNA Type III	B2-U0-G2

Color temperature: 4,000K
Warm-up and restrike time: Instant on (no warm-up or restrike time)

PROPOSED SIGHT LIGHTING, TYP. FINAL NUMBER, DESIGN AND LOCATION TO BE DETERMINED BY DUKE ENERGY LIGHTING PLAN. LIGHTS SHALL BE DESIGNED TO DIRECT LIGHT ONTO SITE AND NOT ONTO ADJACENT PROPERTIES. PROPOSED LIGHTS SHALL HAVE 90° CUT-OFF BEHIND LIGHT.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: 7-7-16 Permit # 2016022
Signed: [Signature]

Approved Construction Plan
Name: [Name] Date: 7/1/16
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NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
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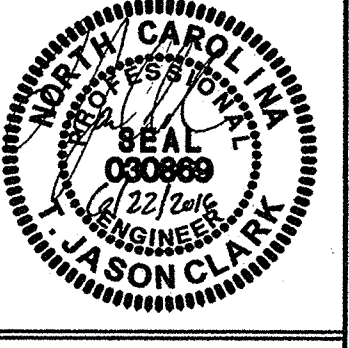
SYMBOL	DATE	DESCRIPTION	BY
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NOTES AND DETAILS
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CONSULTING ENGINEERS, P.C.
902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
1429 ASH-LITTLE RIVER RD, NW
WILMINGTON, NC 28420
PHONE (910) 287-5800
license #C-3641

16031
DES. JST
CRD. JPN
DRWN. NKS
DATE 6/22/16



C6

